

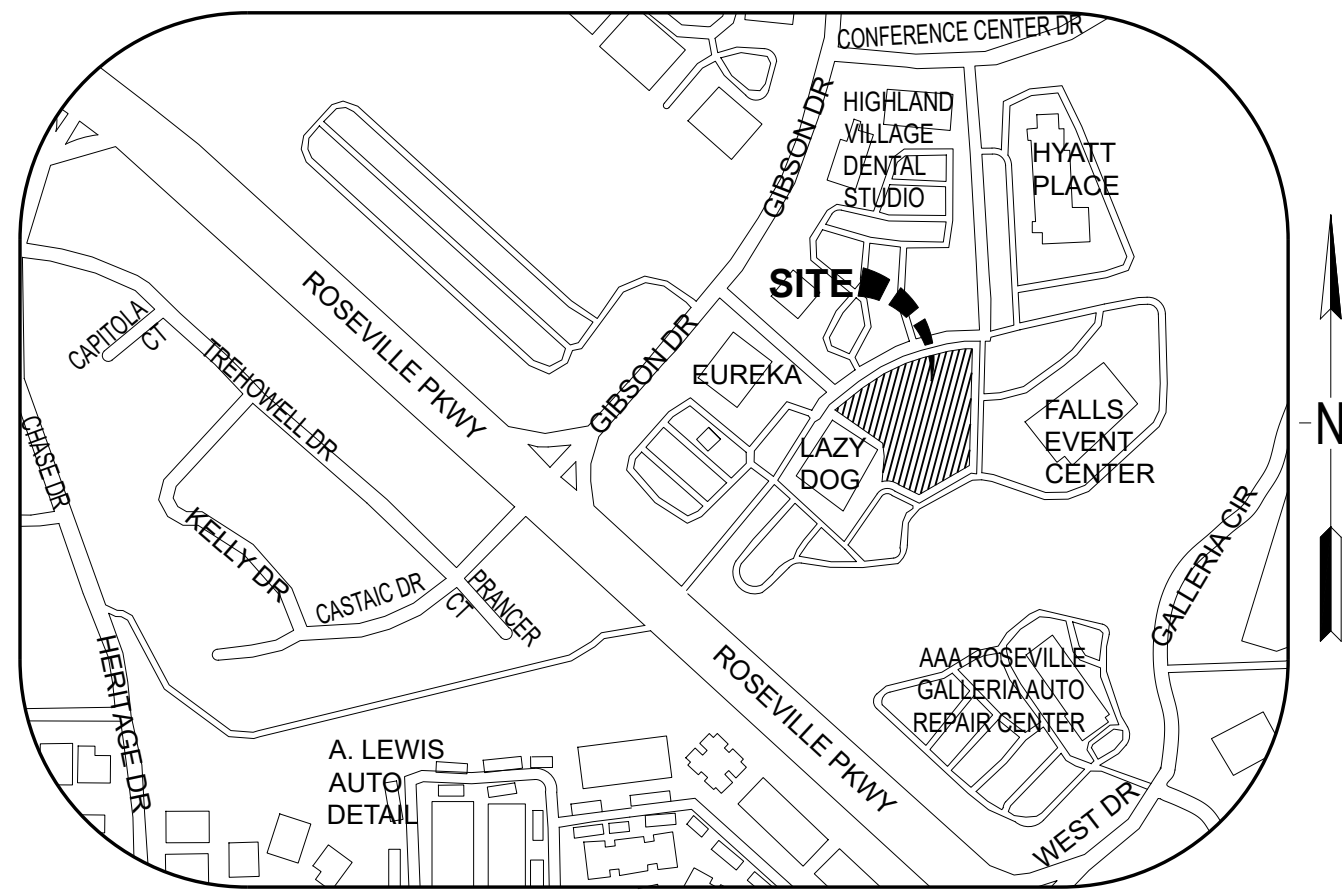
# MAJOR PROJECT PERMIT (MPP) REVIEW OF BP RESTAURANT & SPORTS BAR

246 GIBSON DRIVE, SUITE 100

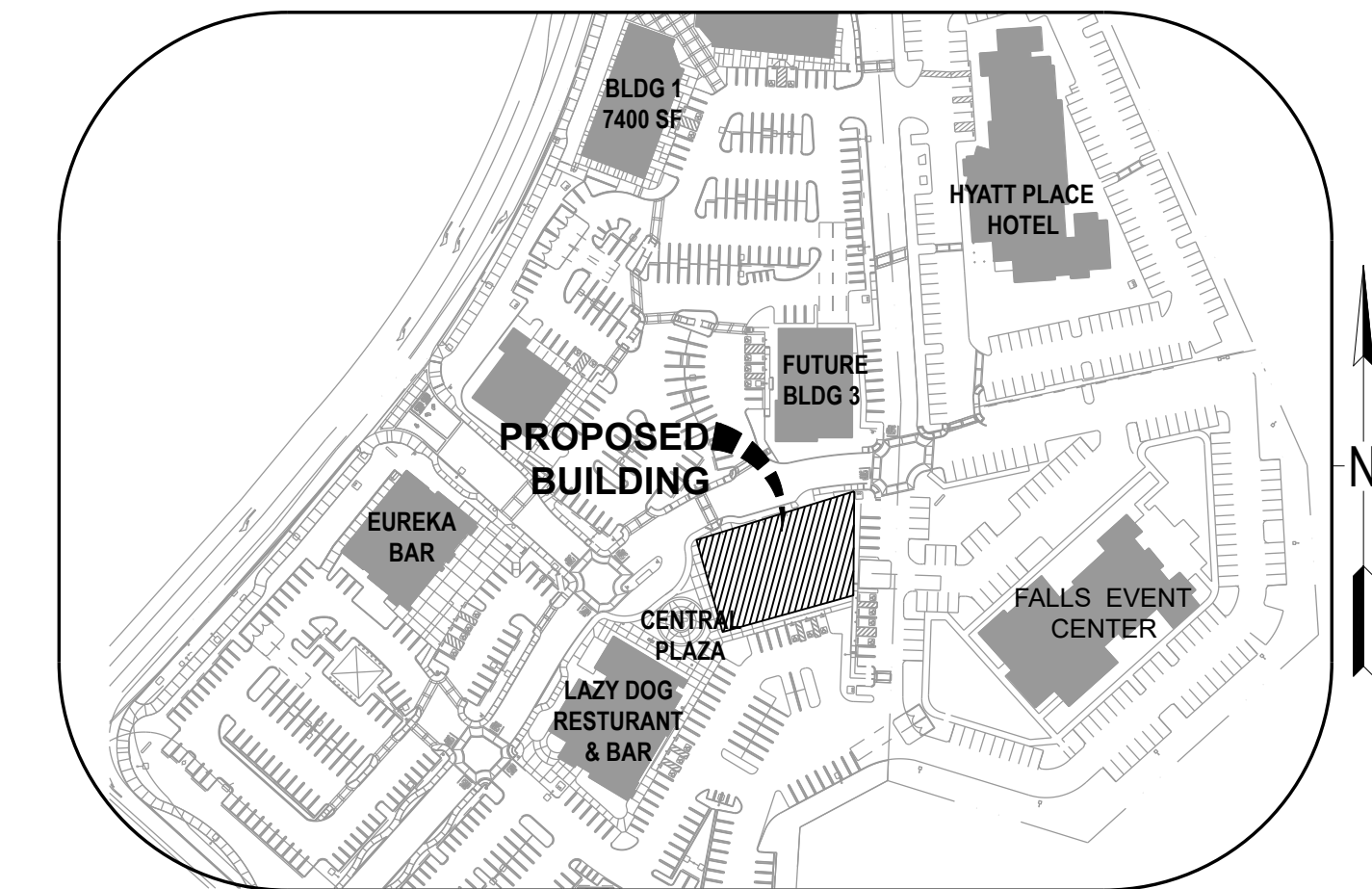
ROSEVILLE, CA 95678

SITE AREA - 0.41 ACRE

APN # 361-230-024-000



VICINITY MAP  
SCALE: N.T.S.



KEY MAP  
SCALE: N.T.S.

## PROJECT CONTACTS

### DEVELOPER

HIGHLAND RIG LLC  
4142 E COMMERCE WAY,  
SACRAMENTO CA 95834

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PHONE:- (650) 274-2344  
E-MAIL: gillgurtej@yahoo.com

### CONSULTANT

CONTINENTAL DEVELOPMENT CONSULTANTS, INC.  
P.O. BOX 1924  
WOODLAND, CA 95776

CONTACT:-  
SUKHJIT "TONY" SINGH, PRINCIPAL MANAGER  
PHONE:- (702) 347-6137  
E-MAIL: tony@continentaldc.com

## SHEET INDEX

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## PROJECT DESCRIPTION

- CONSTRUCTION OF A NEW SINGLE STORY BUILDING (APPROX. 10,558 SQ.FT.) INCLUDING:
  - RESTAURANT (APPROX. 8,100 SQ.FT.)
  - RETAIL/ OFFICE LEASE SPACE (APPROX. 2,185 SQ.FT.)
  - FIRE CONTROL ROOM (115 SQ.FT.) & ELECTRICAL ROOM (158 SQ.FT.)
- PARKING LOT AND COMMON AREA (CENTRAL PLAZA) IMPROVEMENTS AS PER LATEST PL18-0258 MASTER SITE PLAN.

## PROJECT DATA

### PROJECT INFORMATION

I. PROJECT NAME	BP - RESTAURANT & SPORTS BAR
II. LOCATION	246 GIBSON DRIVE, SUITE 100, ROSEVILLE, CA 95678
III. APN	361-230-024-000
IV. JURISDICTION	CITY OF ROSEVILLE
V. SITE AREA	
- NET SITE AREA	17,860 SQ.FT. (0.41 ACRE)
- BUILDING AREA	10,558 SQ.FT.

### PLANNING INFORMATION

CITY OF ROSEVILLE MUNICIPAL CODE	
I. ZONING (EX. & PROPOSED)	CC/SA-NC (COMMUNITY COMMERCIAL/ SPECIAL AREA-NEIGHBORHOOD COMMERCIAL)
II. GENERAL PLAN (EX. & PROPOSED)	BUSINESS PROFESSIONAL
III. HEIGHTS (CHAPTER 19.12.030)	
- ALLOWED	50 FT.
- PROPOSED	30 FT.
IV. PARKING ANALYSIS:	REFER MPP-2.1 FOR DETAILS

REVISIONS:

REVISION	ISSUE	DATE

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COVER SHEET

PROJECT



DATE: 10/11/2023  
JOB : GSG-RV-01  
DWG BY: RM  
CHK BY: DV

MPP-1.0

# TOPOGRAPHIC SURVEY OF 250 GIBSON DRIVE

CITY OF ROSEVILLE, COUNTY OF PLACER, CALIFORNIA  
NOVEMBER, 2022 SCALE: 1" = 20'  
SHEET 1 OF 1  
CWE

**LEGEND:**

- CENTERLINE
- BOUNDARY
- PARCEL LINES
- EDGE OF PAVEMENT
- (M) MISCELLANEOUS MANHOLE
- W WATER VALVE
- F FIRE HYDRANT Y
- F FIRE HYDRANT
- WM WATER METER
- SSCO SANITARY SEWER CLEAN OUT
- SL STREET LIGHT
- PB PULL BOX
- S SIGN
- TREE
- 1440 INDEX CONTOUR
- 56.25 INTERMEDIATE CONTOURS
- 100 SURVEYED POINTS
- 100.00 SURVEY CONTROL POINT
- PK FOUND NAIL AND TAG LS7330 PER (34 PM 93)
- O DIMENSION POINT - NOTHING FOUND OR SET

**ABBREVIATIONS:**

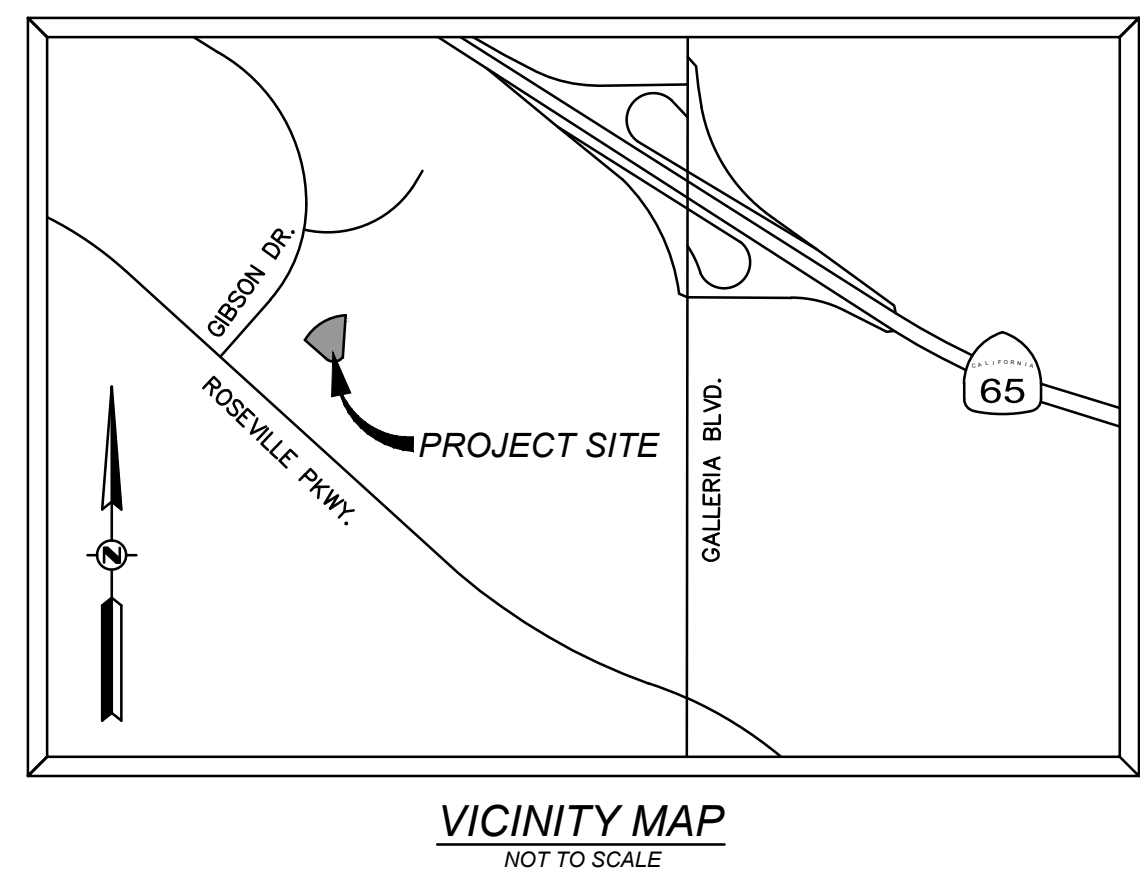
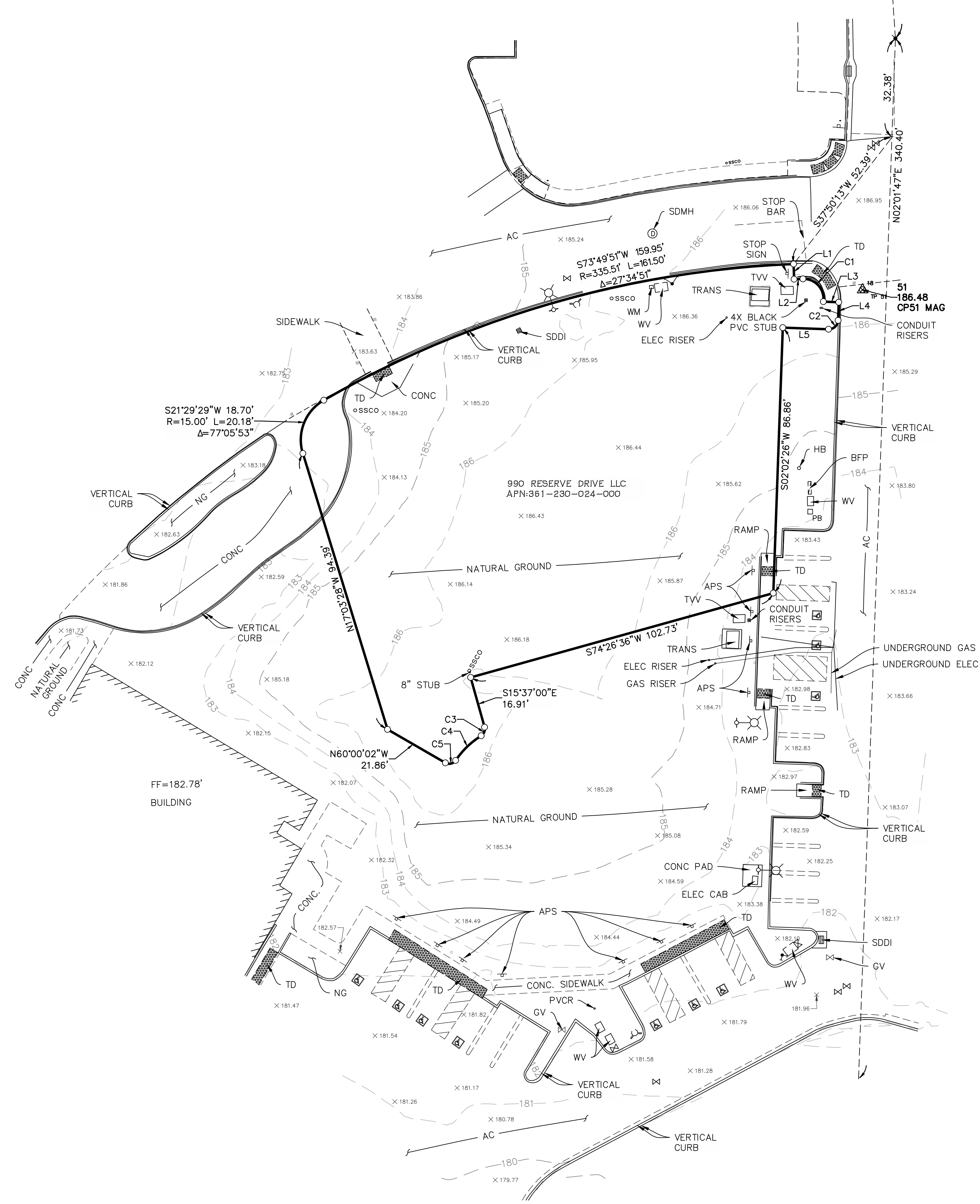
- AC ASPHALT CONCRETE
- APS ACCESSIBLE PARKING SIGN
- BFP BACK FLOW PREVENTER
- BOW BACK OF WALK
- BS BLACK STUB
- CAB CABINET
- CONC CONCRETE
- ELEC ELECTRIC
- EPB ELECTRIC PULL BOX
- GS GRAY STUB
- GV GAS VALVE
- HB HOSEBIB
- IPB IRRIGATION PULL BOX
- NG NATURAL GROUND
- PVCR PVC RISER
- SDDI STORM DRAIN DRAINAGE INLET
- SSCO SANITARY SEWER MANHOLE
- TD TRUNCATED DOME
- TRANS TRANSFORMER
- TVV TELECOMMUNICATION VAULT
- VC&G VERTICAL CURB AND GUTTER
- WM WATER METER
- WS WHITE STUB
- WV WATER VAULT
- YS YELLOW STUB

**LINE TABLE**

LINE #	LENGTH	DIRECTION
L1	5.00'	S01°44'38"E
L2	2.90'	N87°51'21"E
L3	5.04'	S87°57'34"E
L4	5.95'	S02°02'26"W
L5	15.00'	N87°57'34"W

**Curve Table**

Curve #	Cord Bearing	Cord Length	Radius	Delta
C1	N41°53'55"W	9.99	6.50	100°29'27"
C2	N47°02'26"E	4.24	3.00	090°00'00"
C3	N21°25'18"E	3.01	2.50	074°04'35"
C4	S46°01'42"W	11.62	27.00	024°51'47"
C5	N76°47'53"E	3.42	2.50	086°24'09"



**DATE OF FIELD SURVEY:**

SEPTEMBER 22ND 2022

**BENCHMARK:**

THE BENCHMARK USED FOR THIS SURVEY WAS THE CITY OF ROSEVILLE BENCHMARK NO. 47, WHICH IS A 3 1/4" BRASS DISK STAMPED "2018 PLS 8278", SET IN THE TOP OF CURB ON THE WEST SIDE OF A D.I. ON THE SOUTH SIDE OF ROSEVILLE PARKWAY, APPROXIMATELY 270 FEET EAST OF THE SOUTH INTERSECTION OF GIBSON DRIVE.  
ELEVATION = 173.65 FEET (NAVD 88 DATUM)  
SUBTRACT 2.155 FEET FROM ELEVATIONS SHOWN HEREON TO BE ON NGVD 29 DATUM.

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS SHOWN HEREON IS THE EAST LINE OF PARCEL 10 AS SHOWN ON THE PARCEL MAP OF HIGHLAND VILLAGE, FILED FOR RECORD IN BOOK 34 OF PARCEL MAPS, AT PAGE 93, AND WAS ESTABLISHED FROM FOUND RECORD MONUMENTS.

**FLOOD PLAIN:**

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06061C0944H  
DATED: 11-02-2018

**SURVEYOR'S STATEMENT:**

I HEREBY STATE THAT THIS IS A CORRECT REPRESENTATION OF A TOPOGRAPHIC SURVEY MADE UNDER MY DIRECTION IN SEPTEMBER, 2022.

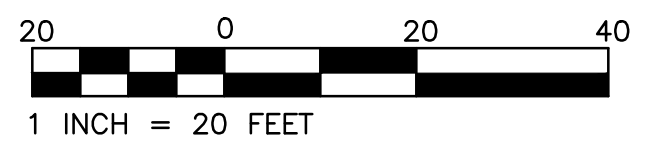
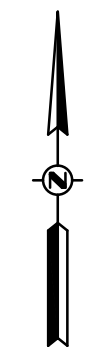
WILLIAM F. MCKINNEY, PLS 4715  
EXPIRATION: SEP 30, 2023

DATE



**UNDERGROUND UTILITY NOTE:**

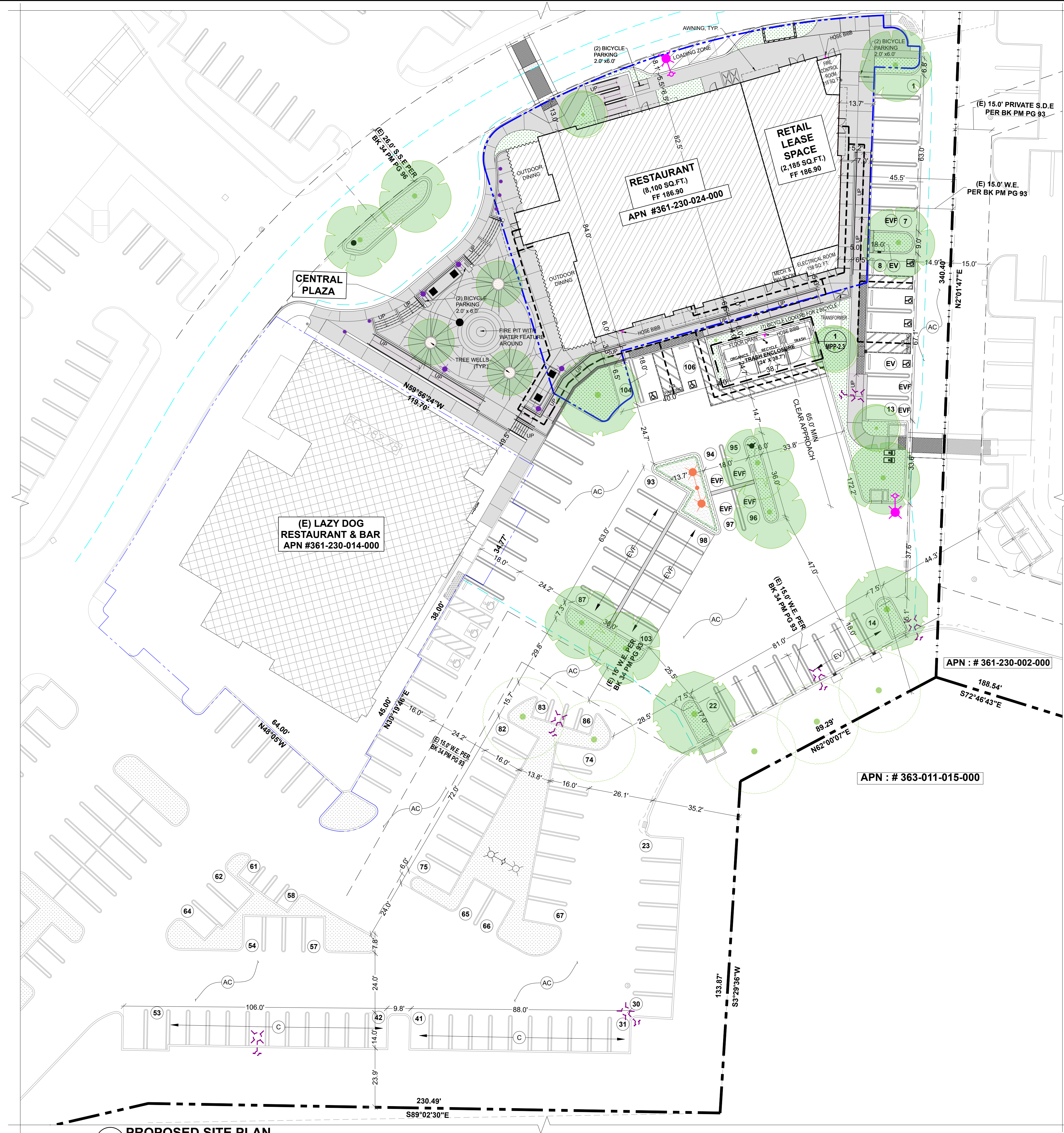
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below.

Call before you dig.  
or (800) 227-2600

MPP-2.0



**LEGEND**

- PROPERTY LINE
- PARCEL LINE
- GRADE BREAKLINE
- EASEMENT LINE
- CENTER LINE
- RAILING @ OUTDOOR DINING, REFER DETAIL 4/MPP-2.3
- 5'-0" WIDE ACCESSIBLE PATH OF TRAVEL (MAX. LONGITUDINAL SLOPE OF 5% & MAX. CROSS SLOPE OF 2%)
- PROPOSED BUILDING
- EXISTING BUILDING
- ASPHALT CONCRETE PAVING
- CONCRETE PAVING
- LANDSCAPING. REFER LANDSCAPING PLANS FOR DETAILS
- BIORETENTION PLANTER
- SR. # OF CAR PARKING SPACE
- CAR PARKING SPACE EQUIPPED WITH EVSE
- CAR PARKING SPACES WITH FUTURE EVSE PROVISIONS
- COMPACT PARKING
- BIKE RACK
- BIKE LOCKER
- ACCESSIBLE CAR PARKING
- FIRE HYDRANT
- (E) STREET LIGHT POLE
- RELOCATED (E) STREET LIGHT POLE
- (N) STREET LIGHT POLE
- (N) PLAZA LIGHT POLE
- (N) BOLLARD LIGHT
- BICYCLE LOCKERS

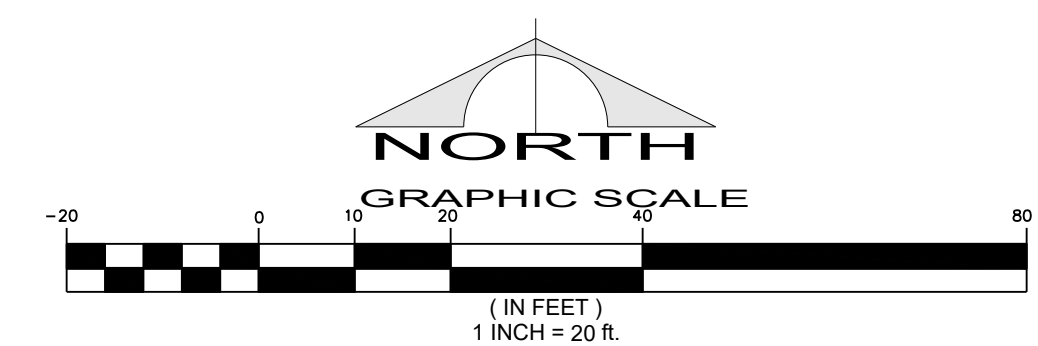
**PARKING ANALYSIS:**

NOTE: PARKING SPACES ALLOCATED UNDER PL 18-0258 NUMBERED ON THIS SHEET. UN-NUMBERED PARKING SPACES BELONG TO OTHER PROJECTS OF HIGHLAND VILLAGE.

REQUIREMENT	PROVIDED
a) CAR PARKING (CHAPTER 19.26.030 - A.4)	
REQUIRED	96 SPACES
• RESTAURANT (1 PER 100 SQ.FT.)	8,100/100 = 81 SPACES
• RETAIL (1 PER 300 SQ.FT.)	2,185/300 = 7 SPACES
• GENERAL MEDICAL SERVICES* (1 PER 150 SQ.FT.)	2,185/150 = 15 SPACES
<b>TOTAL</b>	<b>96 SPACES</b>
* MOST RESTRICTIVE FACTOR IS CONSIDERED IN REQUIRED PARKING CALCULATIONS.	
b) ACCESSIBLE PARKING (CBC - TABLE 11B 208.2)	106 SPACES
REQUIRED	5
PROVIDED	6
c) EV CAR PARKING (CALGREEN - TABLE 5.106.5.3.1)	25 (TOTAL NUMBER OF EVCS)
REQUIRED	6 (NUMBER OF EVCS OUT OF 25 EQUIPPED WITH EVSE)
PROPOSED NUMBER OF EVCS (INCLUDING EVSE)	25
PROPOSED NUMBER OF EVCS EQUIPPED WITH EVSE	6
d) SHORT TERM BIKE RACK (CALGREEN SECTION 5.106.4.1.1)	5
REQUIRED (5% OF TOTAL PARKING)	5
PROVIDED	6
e) LONG TERM BIKE RACK (CALGREEN SECTION 5.106.4.1.2)	5
REQUIRED (5% OF TOTAL PARKING)	5
PROVIDED	6

**SITE LIGHTING NOTES:**

- DEVELOPMENT PROPOSED ON THE VACANT PADS LOCATED IN AN EXISTING SITE EQUIPPED WITH SITE LIGHTING POLES.
- TWO EXISTING SITE LIGHTING POLES RELOCATED AS PER SITE CONDITIONS.
- ONE NEW SITE LIGHT POLE FITTED WITH TWO LIGHTOLIERS PROPOSED.
- DECORATIVE LIGHTING POLES @ CENTRAL PLAZA PROPOSED AT KEY ENTRY POINTS (RAMPS & STAIRS).



1 PROPOSED SITE PLAN

REVISIONS:	REVISION	ISSUE	DATED

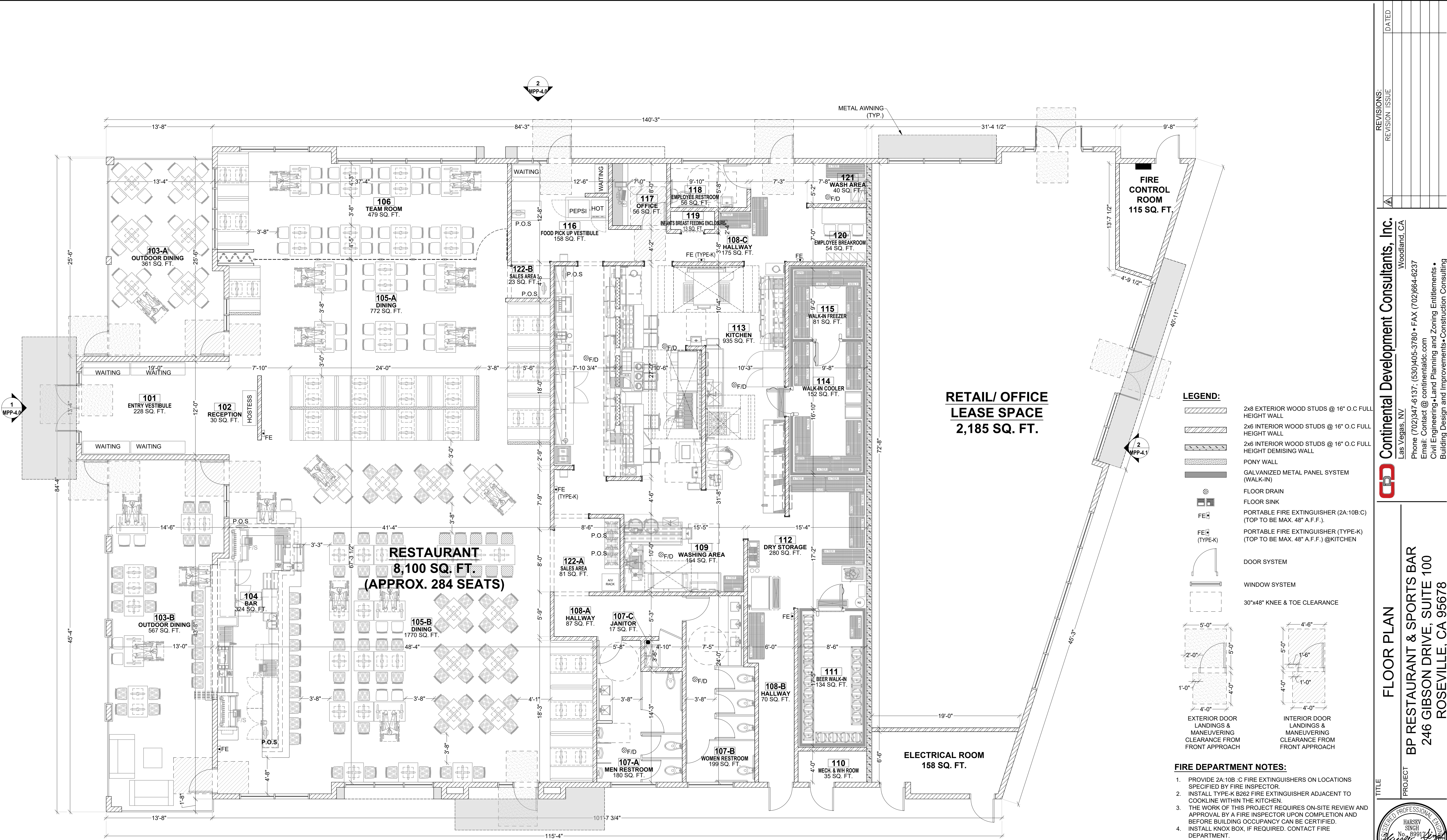
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**PROPOSED SITE PLAN**  
**BP RESTAURANT & SPORTS BAR**  
 246 GIBSON DRIVE, SUITE 100  
 ROSEVILLE, CA 95678



DATE: 08/12/2023  
 JOB: GSG-RV-01  
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**MPP-2.1**



**RETAIL/ OFFICE  
LEASE SPACE  
2,185 SQ. FT.**

- LEGEND:**
- 2x8 EXTERIOR WOOD STUDS @ 16" O.C FULL HEIGHT WALL
  - 2x6 INTERIOR WOOD STUDS @ 16" O.C FULL HEIGHT WALL
  - 2x6 INTERIOR WOOD STUDS @ 16" O.C FULL HEIGHT DEMISING WALL
  - PONY WALL
  - GALVANIZED METAL PANEL SYSTEM (WALK-IN)
  - FLOOR DRAIN
  - FLOOR SINK
  - PORTABLE FIRE EXTINGUISHER (2A:10B:C) (TOP TO BE MAX. 48" A.F.F.)
  - PORTABLE FIRE EXTINGUISHER (TYPE-K) (TOP TO BE MAX. 48" A.F.F.) @ KITCHEN
  - DOOR SYSTEM
  - WINDOW SYSTEM
  - 30"x48" KNEE & TOE CLEARANCE
- EXTERIOR DOOR LANDINGS & MANEUVERING CLEARANCE FROM FRONT APPROACH**
- INTERIOR DOOR LANDINGS & MANEUVERING CLEARANCE FROM FRONT APPROACH**

- FIRE DEPARTMENT NOTES:**
1. PROVIDE 2A:10B-C FIRE EXTINGUISHERS ON LOCATIONS SPECIFIED BY FIRE INSPECTOR.
  2. INSTALL TYPE-K B362 FIRE EXTINGUISHER ADJACENT TO COOKLINE WITHIN THE KITCHEN.
  3. THE WORK OF THIS PROJECT REQUIRES ON-SITE REVIEW AND APPROVAL BY A FIRE INSPECTOR UPON COMPLETION AND BEFORE BUILDING OCCUPANCY CAN BE CERTIFIED.
  4. INSTALL KNOX BOX, IF REQUIRED. CONTACT FIRE DEPARTMENT.
  5. KITCHEN FACILITIES WITH COOKING DEVICES THAT PRODUCE GREASE LADEN VAPORS, REQUIRED TO HAVE SEPARATE FIRE SYSTEM PERMIT.
  6. LIQUID CO<sub>2</sub> SYSTEM TO BE INSTALLED, IN ACCORDANCE WITH CA MECHANICAL CODE AND BASED ON THE AMOUNT A FILING IN THE CALIFORNIA ENVIRONMENTAL REPORTING (CERS).
  7. SEPARATE FIRE SYSTEM PERMIT IS REQUIRED. PLEASE CONTACT jrizzi@roseville.ca.us or 916 774-5802 WITH ANY QUESTIONS.
  8. AN APPROVED FIRE CONTROL ROOM IS REQUIRED FOR ALL BUILDINGS PROTECTED BY AN AUTOMATIC FIRE EXTINGUISHING SYSTEM. FOR MORE INFORMATION, PLEASE CONTACT JASON RIZZI AT jrizzi@roseville.ca.us or 916 774-5802.
  9. THE CITY OF ROSEVILLE FIRE DEPARTMENT SERVES AS THE CUPA FOR THE CITY OF ROSEVILLE. FOR INFORMATION ON REQUIRED SUBMITTALS TO THE CALIFORNIA ENVIRONMENTAL REPORTING SYSTEM (CERS) PLEASE CONTACT JASON RIZZI AT JRIZZI@ROSEVILLE.CA.US OR 916 774-5802.

**1 FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

REVISIONS:	REVISION	ISSUE

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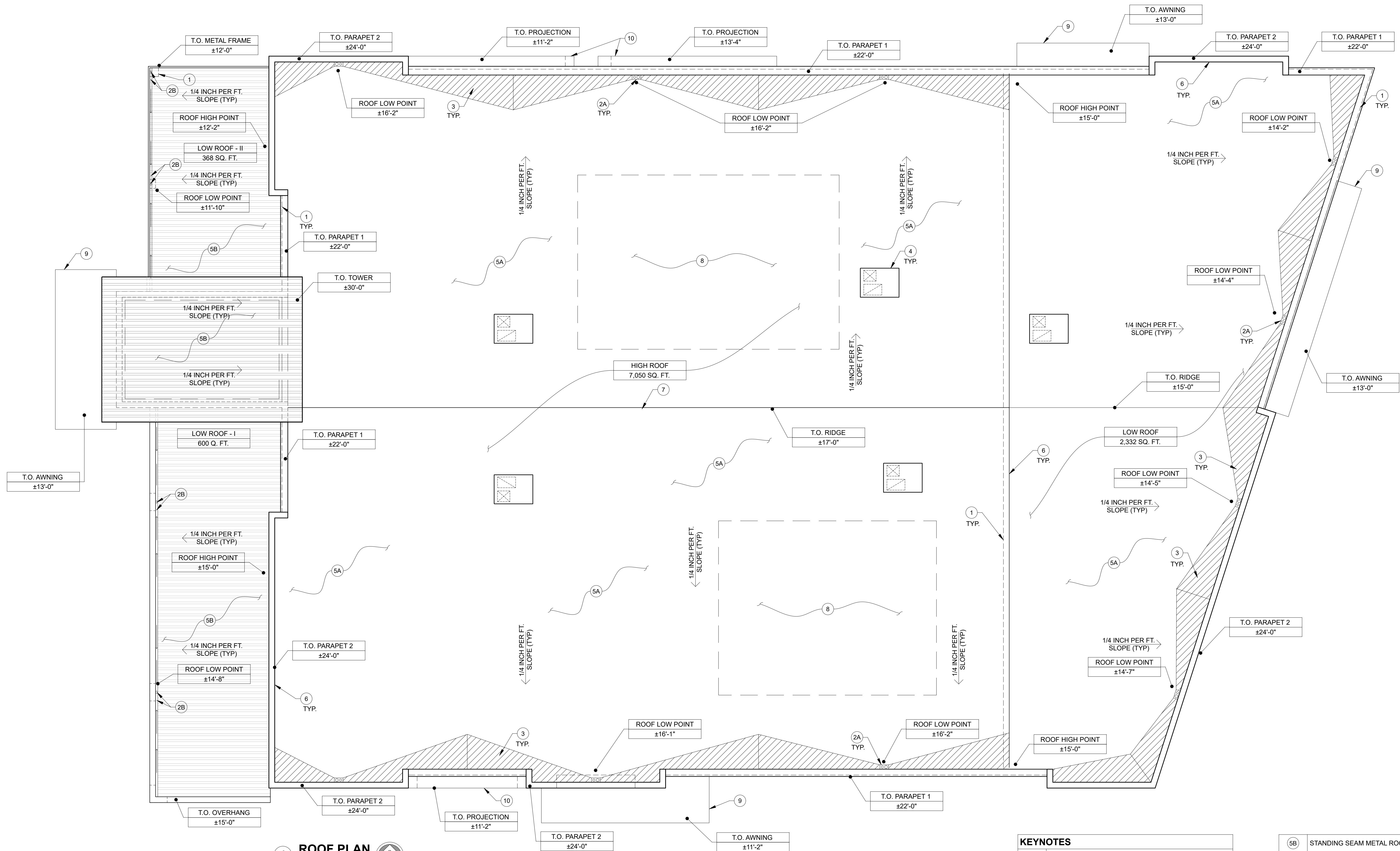
**FLOOR PLAN**  
**BP RESTAURANT & SPORTS BAR**  
246 GIBSON DRIVE, SUITE 100  
ROSEVILLE, CA 95678

TITLE  
PROJECT



DATE: 08/12/2023  
JOB: GSG-RV-01  
DWG BY: HPS  
CHK BY: DV

**MPP-3.0**



**1 ROOF PLAN**  
SCALE: 3/16" = 1'-0"

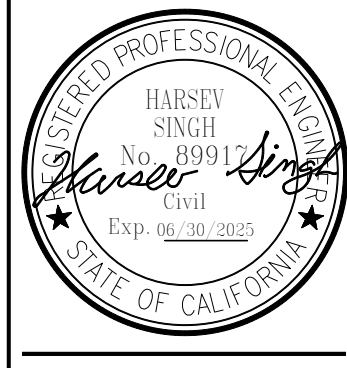
KEYNOTES	
1	DASHED LINE INDICATES BUILDING LINE BELOW
2A	ROOF DRAIN & OVER FLOW PIPE (TYP.)
2B	SEMI-CIRCULAR GUTTER W/ DOWNSPOUT, SLOPE TOWARDS DOWNSPOUT (TYP.)
3	JUNCTURE TO BE SLOPED BY USING PIECES OF POLYISO & DENSDECK TO AVOID PERPENDICULAR CONDITION
4	ROOF TOP UNITS (HVAC & KITCHEN VENTILATION)
5A	ROOF TO BE MIN. CLASS-C COOL ROOF IN COMPLIANCE W/ COOL ROOF NOTES ON THIS SHEET. ROOFING CONSTRUCTION TO BE 2" MIN. POLYISO INSULATION ABOVE STRUCTURAL PLYWOOD COVERED W/ 1/4" DENSDECK PRIME ROOF BOARD W/ 60 MIL. SINGLE PLY TPO MEMBRANE ROOF SHEATHING ON TOP. BY FIRESTONE OR EQUIVALENT W/ A TOTAL MIN. R-VALUE OF 38. USE PLYBOARDS OR DENSDECK BOARDS O/ 2x WOOD MEMBERS FOR MIN. ROOF SLOPES, WHERE REQUIRED.

5B	STANDING SEAM METAL ROOF
6	TPO MEMBRANE & DENSDECK BOARD TO CONTINUE ALONG JUNCTURE OF ROOF & VERTICAL SURFACE (PARAPET/ CURB) UP TO THE TOP OF PARAPET/ CURB, AS SPECIFIED IN #5A ABOVE.
7	ROOF RIDGE ( HEIGHT TO BE MAINTAINED AS PER MIN. 1/4 INCH SLOPE PER FEET)
8	SOLAR ZONE AREA (15% OF ROOF AREA) PER BUILDING ENERGY EFFICIENCY STANDARDS
9	METAL AWNING BY OTHERS
10	PROJECTION @ WINDOWS

REVISIONS:	REVISION	ISSUE	DATED

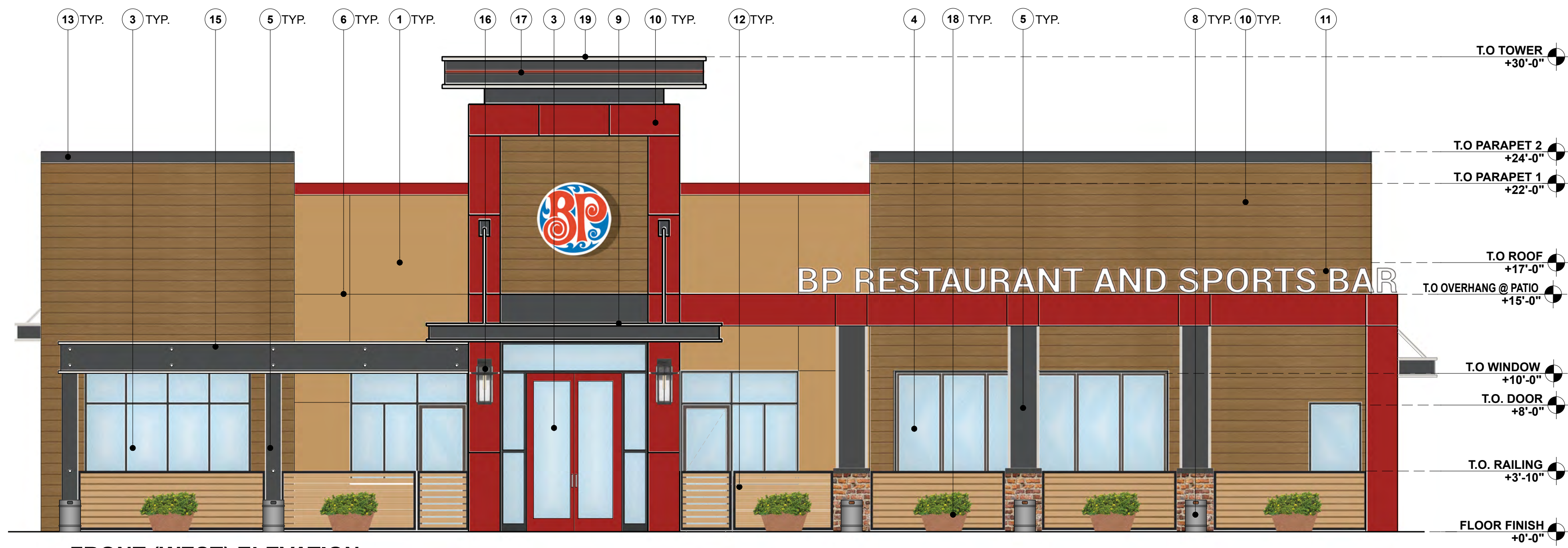
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**ROOF PLAN**  
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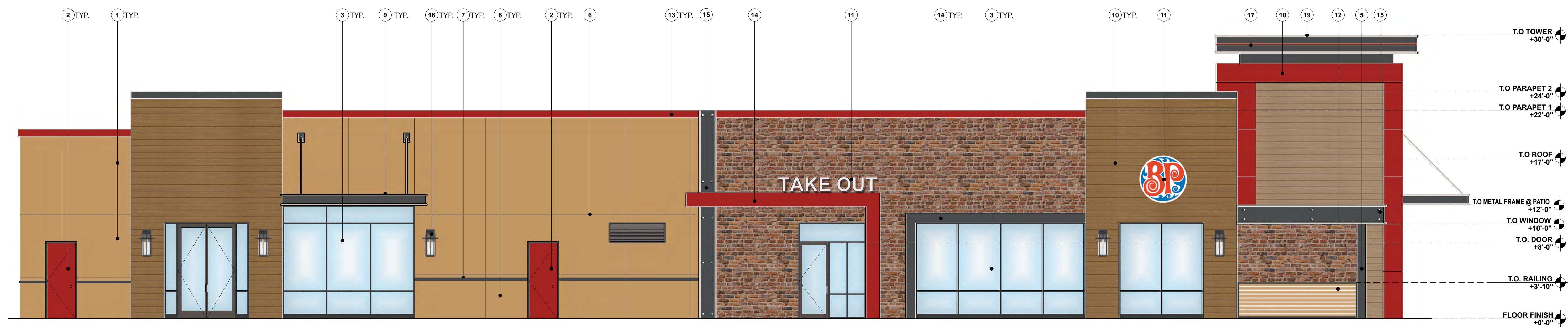
**MPP-5.0**



**1 FRONT (WEST) ELEVATION**  
SCALE: 3/16" = 1'-0"

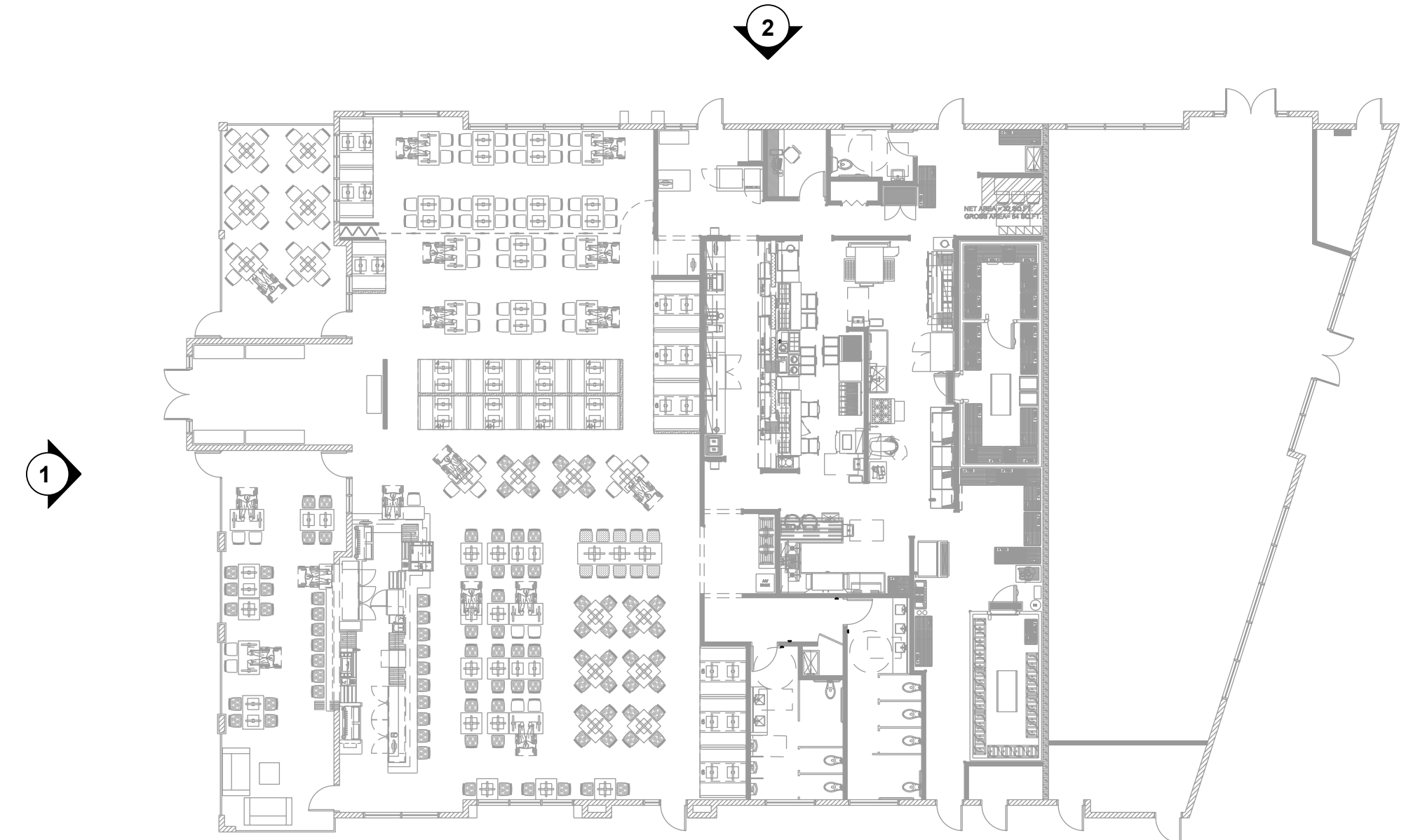
**KEYNOTES:**

1	3 COAT STUCCO
2	DOOR SYSTEM
3	WINDOW/ STOREFRONT SYSTEM
4	STACKED/ COLLAPSIBLE WINDOW
5	PATIO COLUMN
6	STUCCO JOINT
7	TRIM
8	2'-0" HIGH BEER BARREL
9	METAL AWNING BY OTHERS
10	FIBRE CEMENT PANELS
11	SIGNAGE BY OTHERS
12	PRE-MANUFACTURED PATIO RAILING
13	CORNICE
14	PROJECTION/ OVERHANG
15	METAL FRAME
16	WALL SCONCE
17	STRIP LIGHTING
18	PLANTER
19	TOWER



**2 SIDE (NORTH) ELEVATION**  
SCALE: 3/16" = 1'-0"

**NOTE: REFER SHEET MPP-6.0 FOR COLOR SCHEDULE**



**3 KEY PLAN**

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**EXTERIOR ELEVATIONS**  
BP RESTAURANT & SPORTS BAR  
246 GIBSON DRIVE, SUITE 100  
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TITLE  
PROJECT



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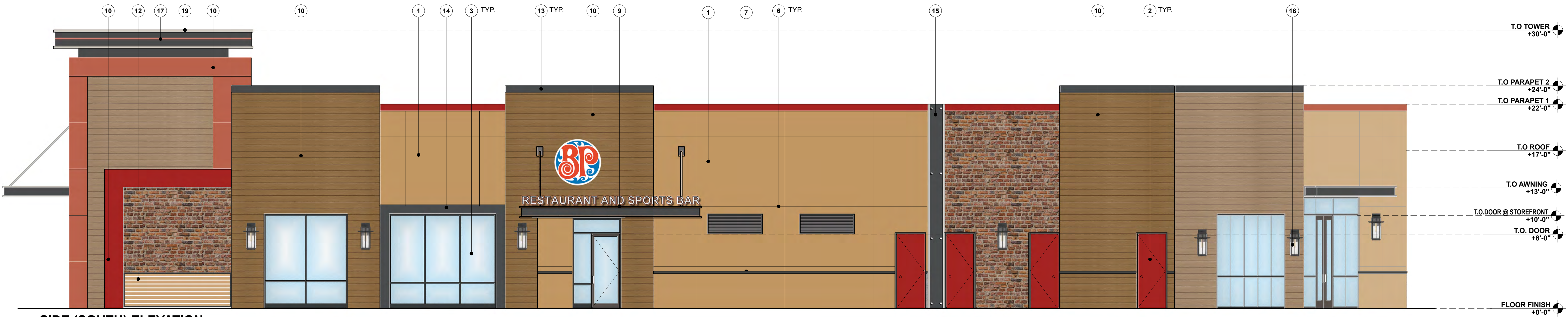
**MPP-4.0**



1 REAR (EAST) ELEVATION  
SCALE: 3/16" = 1'-0"

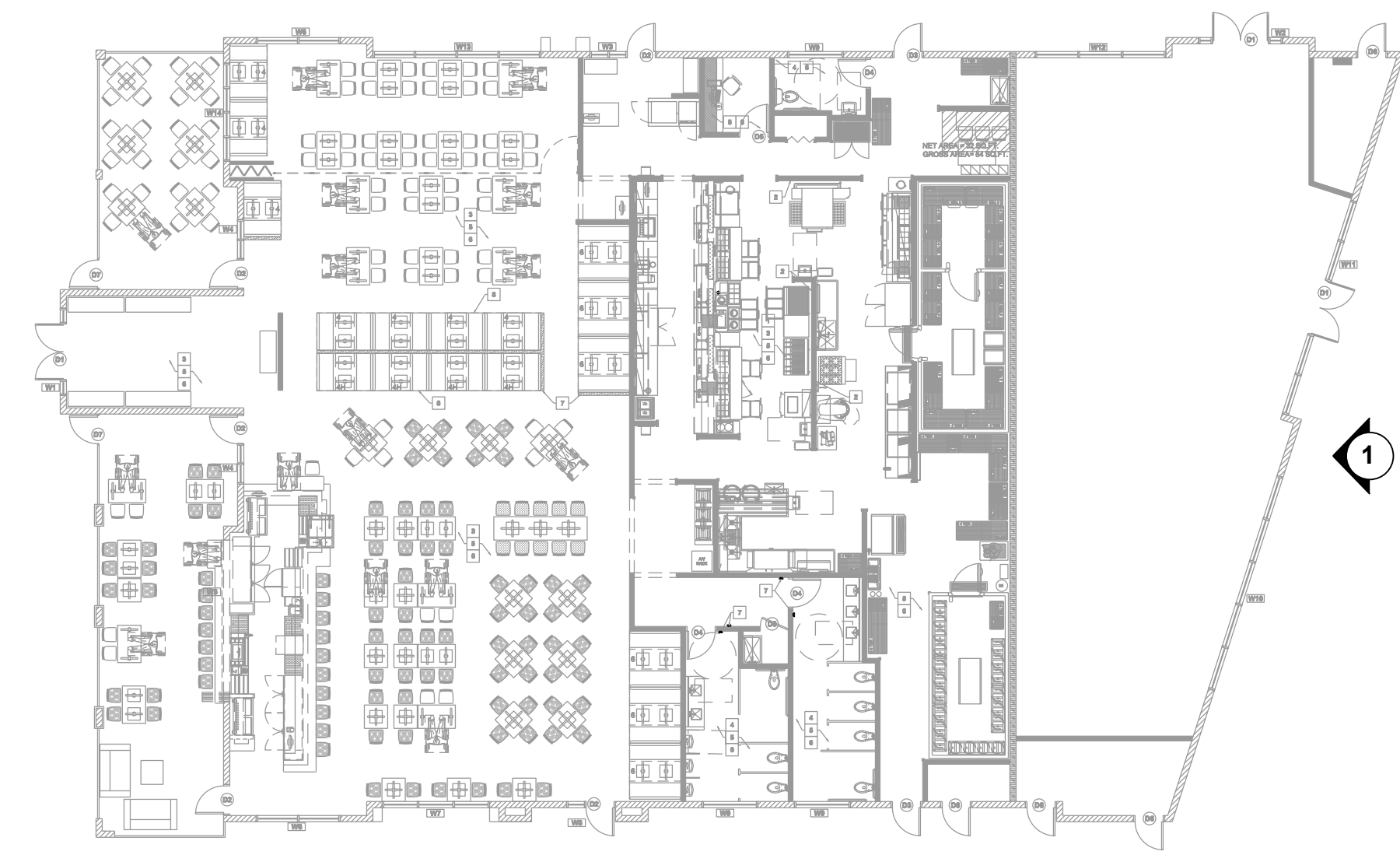
**KEYNOTES:**

1	3 COAT STUCCO
2	DOOR SYSTEM
3	WINDOW/ STOREFRONT SYSTEM
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7	TRIM
8	2'-0" HIGH BEER BARREL
9	METAL AWNING BY OTHERS
10	FIBRE CEMENT PANELS
11	SIGNAGE BY OTHERS
12	PRE-MANUFACTURED PATIO RAILING
13	CORNICE
14	PROJECTION/ OVERHANG
15	METAL FRAME
16	WALL SCNCE
17	STRIP LIGHTING
18	PLANTER
19	TOWER



2 SIDE (SOUTH) ELEVATION  
SCALE: 3/16" = 1'-0"

NOTE: REFER SHEET MPP-6.0 FOR COLOR SCHEDULE



3 KEY PLAN

REVISIONS:

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MPP-4.1



1 FRONT VIEW



2 SIDE VIEW - FROM INTERSECTION



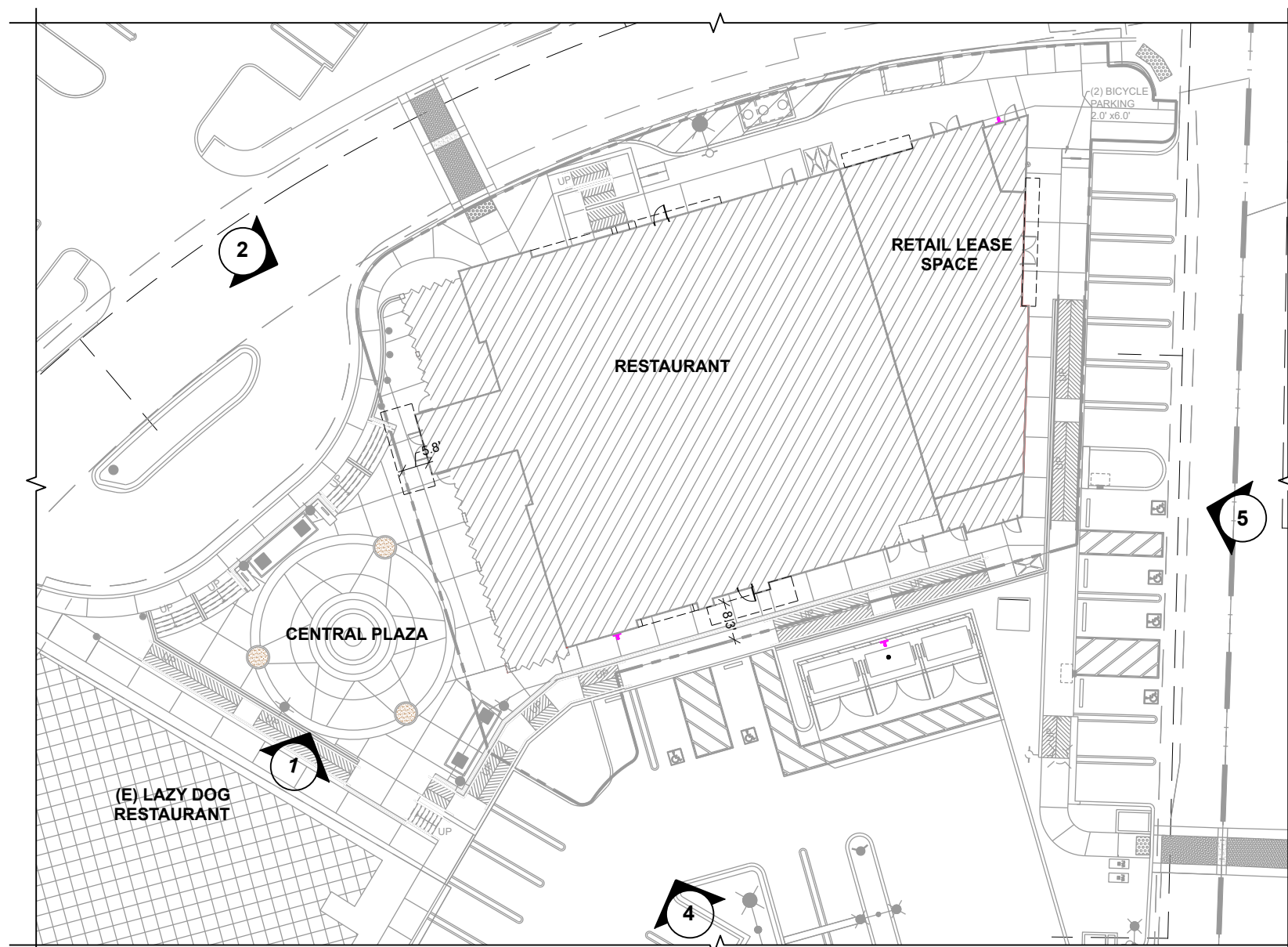
3 TOP VIEW



4 SIDE VIEW - FROM PARKING



5 REAR VIEW



6 KEYPLAN

REVISIONS:

REVISION	ISSUE	DATED

**Continental Development Consultants, Inc.**  
 Las Vegas, NV  
 Phone (702)347-6137; (530)405-3780 • FAX (702)664-6237  
 Email: Contact @ continentalcd.com  
 Civil Engineering • Land Planning and Zoning Entitlements •  
 Building Design and Improvements • Construction Consulting




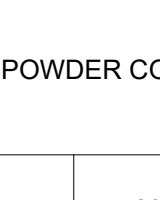




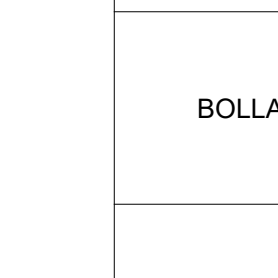
**SITE 3D VIEWS**


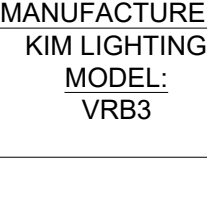
PROJECT








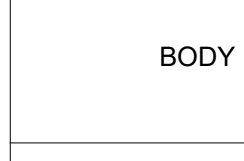

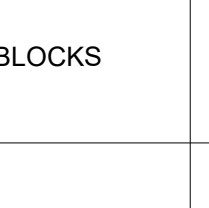


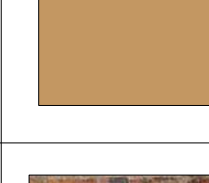
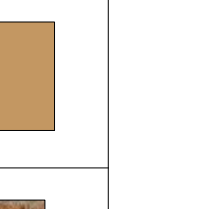


DATE: 10/11/2023  
 JOB: GSG-RV-01  
 DWG BY: RM  
 CHK BY: SPK

**MPP-2.2**

BUILDING MATERIALS				
ITEM DESCRIPTION	BASE MATERIAL	COLOR & FINISH	MANUFACTURER & MODEL	SAMPLE
BODY -I	STUCCO	MANNERED GOLD	MANUFACTURER: SHERWIN - WILLIAMS MODEL: SW 6130	
BODY -II	VENEER	RECLAIMED THIN FACE BRICK		
TOWER (ACCENT I)	ALUMINUM COMPOSITE PANELS	CARB RED	MANUFACTURER 3A COMPOSITES - ALUCOBOND AXCENT MODEL CARB RED	
PATIO ROOF & PROJECTION/ OVERHANG (ACCENT II)	METAL	BLACK POWDER COATED		
ACCENT III	FIBRE CEMENT PANELS	CEDAR	MANUFACTURER NICHHA VINTAGE WOOD - CEDAR EPC762F	
WALL SCONCE	PER MANUFACTURER		MANUFACTURER: RANDALL OUTDOOR MODEL: RDL8409MB MOTTLED BLACK	
RAILING (REFER 4/MPP-2.3 FOR DETAIL)	BY GENERAL CONTRACTOR			

DOOR & WINDOW				
ITEM DESCRIPTION	BASE MATERIAL	COLOR & FINISH	MANUFACTURER & MODEL	SAMPLE
INSULATING GLASS	--	NEUTRAL	MANUFACTURER: PPG INDUSTRIES MODEL: SOLARBAN 60 (2) CLEAR	
FRAME	METAL	BLACK POWDER COATED		

SITE AMENITIES				
ITEM DESCRIPTION	BASE MATERIAL	COLOR & FINISH	MANUFACTURER & MODEL	SAMPLE
PLAZA LIGHT (12 FT. HIGH) (IN CENTRAL PLAZA)	PER MANUFACTURER		MANUFACTURER: REBELLE ARCHITECTURAL LIGHTING MODEL: ORCHESTRA CIRCLE 2756A2 LED POLE TYPE: POLES 3027	
SITE LIGHT (25 FT. HIGH) (IN PARKING AREA)	PER MANUFACTURER		MANUFACTURER: ACUITY MODEL: DSX1 LED P8	
BOLLARD LIGHT	PER MANUFACTURER		MANUFACTURER: KIM LIGHTING MODEL: VRB3	
STAMPED CONCRETE	CONCRETE	AUTUMN GOLD	MANUFACTURER: DAVIS COLORS	
		PEBBLE 641		
		STANDARD		
BEER BARREL	METAL	NICKEL	MANUFACTURER: BUDWEISER MODEL: HALF BARREL (16-1/16" DIA. x 23-1/4" HT.)	
FIRE PIT	STONE	--	MANUFACTURER: WOODLAND DIRECT MODEL: CONTEMPORARY FIRE FOUNTAIN	
PLANTERS	STANDARD REINFORCED CONCRETE	QUAIL HILL RED	MANUFACTURER: QCP MODEL: QR-WS3615P	
RETAINING WALL	8" x 8" x 16" SPLIT FACE CMU			

TRASH ENCLOSURE (REFER 1/MPP-2.3 FOR DETAIL)				
ITEM DESCRIPTION	BASE MATERIAL	COLOR & FINISH	MANUFACTURER & MODEL	SAMPLE
BODY I	CMU BLOCKS	MANNERED GOLD	MANUFACTURER: SHERWIN - WILLIAMS MODEL: SW 6130	
BODY II	VENEER	RECLAIMED THIN FACE BRICK		
ACCENT BAND	STUCCO	INTELLECTUAL GRAY	MANUFACTURER: SHERWIN - WILLIAMS MODEL: SW 7045	
GATES & BOLLARDS	METAL	BLACK POWDER COATED		

REVISIONS:

REVISION ISSUE

DATED

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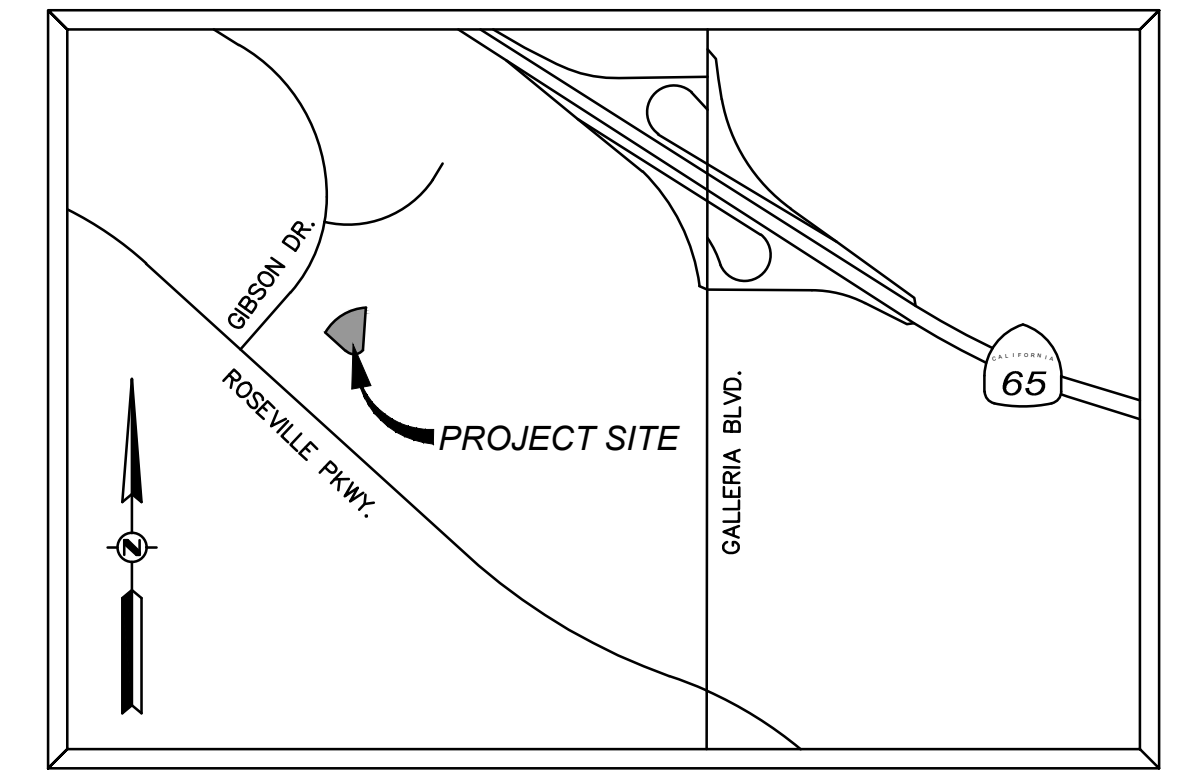
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# HIGHLAND VILLAGE PAD 4 PRELIMINARY IMPROVEMENT PLANS

246 GIBSON DRIVE  
ROSEVILLE, CA 95678  
APN: 361-230-024,025



## SHEET INDEX:

- C1 PRELIMINARY SITE PLAN
- C2 EXISTING CONDITIONS
- C3.1 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN 1
- C3.2 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN 2
- C3.3 PRELIMINARY GRADING, DRAINAGE, & PAVING PLAN 3
- C3.4 PRELIMINARY SITE CROSS SECTIONS
- C4 PRELIMINARY WATER & SANITARY SEWER PLAN

## BASIS OF BEARINGS:

THE BASIS OF BEARINGS SHOWN HEREON IS THE EAST LINE OF PARCEL 10 AS SHOWN ON THE PARCEL MAP OF HIGHLAND VILLAGE, FILED FOR RECORD IN BOOK 34 OF PARCEL MAPS, AT PAGE 93, AND WAS ESTABLISHED FROM FOUND RECORD MONUMENTS.

## BENCHMARK:

THE BENCHMARK USED FOR THIS SURVEY WAS THE CITY OF ROSEVILLE BENCHMARK NO. 47, WHICH IS A 3 1/2" BRASS DISK STAMPED "2018 PLS 8278", SET IN THE TOP OF CURB ON THE WEST SIDE OF A D.I. ON THE SOUTH SIDE OF ROSEVILLE PARKWAY, APPROXIMATELY 270 FEET EAST OF THE SOUTH INTERSECTION OF GIBSON DRIVE.  
ELEVATION = 173.65 FEET (NAVD 88 DATUM)  
ELEVATION = 171.50 FEET (NGVD 29 DATUM)

## JURISDICTION:

CITY OF ROSEVILLE

## ZONING FOR BOTH PARCELS:

ZONING DESIGNATION: CC/SA-NC  
GENERAL PLAN DESIGNATION: COMMERCIAL

## TOPOGRAPHIC SURVEY:

CWE  
FIELD SURVEY DATED: SEPTEMBER 22, 2022  
SUPPLEMENTAL SURVEY DATED: NOVEMBER 2, 2022

## PROPERTY OWNER

990 RESERVE DRIVE LLC,  
564 N SUNRISE, ROSEVILLE, CA 95661

## DEVELOPER:

GILL GURTEJ  
111 WEST Q STREET, RIO LINDA, CA 95673  
(650) 274-2344

## FLOOD PLAIN:

SUBJECT PROPERTY IS LOCATED WITHIN ZONE "X". AREAS WITHIN ZONE "X" ARE DETERMINED TO BE OUTSIDE THE 0.2 ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO.: 06061C0944H DATED: 11-02-2018

## GEOTECHNICAL REPORT:

REPORT BY: WALLACE-KUHL AND ASSOCIATES, INC.  
REPORT NO.: WKA NO. 7791.01  
DATED: SEPTEMBER, 28 2007



Know what's below.

Call before you dig.  
or (800) 642-2444

## UTILITY NOTE:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

## UTILITY CONTACT INFORMATION

UTILITY	UTILITY CO.	REPRESENTATIVE	PHONE
TELEPHONE	COMCAST	ENGINEERING	(925) 424-0278
GAS	PG&E	ENGINEERING	(877) 743-7782
ELECTRIC	CITY OF ROSEVILLE ELECTRIC	ENGINEERING	(916)746-1601
FIRE	ROSEVILLE FIRE DEPARTMENT	JASON RIZZI	(916) 774-5802
WATER & SEWER	CITY OF ROSEVILLE DEPT. OF ENVIRONMENTAL UTILITIES	ENGINEERING	(916) 774-5752
DRAINAGE	CITY OF ROSEVILLE DEVELOPMENT SERVICES DEPT.-ENGINEERING	JACK VAROZZA	(916) 746-1344
U.S.A.	UNDERGROUND SERVICE ALERT		1-800-642-2444

## DEVELOPMENT STANDARDS

ITEM	REQUIREMENTS	PROVIDED
EXISTING GENERAL PLAN: COMMERCIAL		
ZONE: CC/SA-NC		
USE: RESTAURANT & RETAIL		
MAXIMUM BUILDING HEIGHT	35 FT.	30 FT.
PROPERTY AREA:	0.41 AC GROSS	

REFERENCE IS MADE TO THE CITY OF ROSEVILLE ZONING ORDINANCE #3014

TOTAL DISTURBED AREA: 50,930 SF [1.169 AC]

## RAW EARTHWORK SUMMARY

CUT:	1,110 CY
FILL:	830 CY
NET:	280 CY [EXPORT]

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED TO SUBGRADE AND DO NOT TAKE INTO ACCOUNT SHRINKAGE, EXCESS MATERIALS FROM TRENCHING AND MISC. UNKNOWN STRUCTURAL SECTIONS. CONTRACTOR SHOULD VERIFY EARTHWORK QUANTITIES.

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
CENTERLINE	---	---
SW, CURB & GUTTER	---	---
DITCH / FLOWLINE	---	---
EP	---	---
STORM DRAIN	XX"SD	XX"SD
SANITARY SEWER	XX"SS	XX"SS
WATER LINE	XX"W	XX"W
FIRE SERVICE	XX"FS	XX"FS
GAS LINE	XX"G	XX"G
SDMH	⊙	⊙
DRAINAGE INLET	⊠	⊠
DIRECTION OF SURFACE FLOW	→	→
OVERLAND RELEASE PATH	→	→
SSMH	⊙	⊙
SSCO	⊙	⊙
FIRE HYDRANT	⊙	⊙
PIV	⊙	⊙
FDC	⊙	⊙
WATER VALVE	⊙	⊙
WATER METER	⊙	⊙
BACKFLOW PREVENTION ASSEMBLY	⊠	⊠
REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY	⊠	⊠
PIPE CAP	⊠	⊠
GAS VALVE	⊙	⊙
STREET LIGHT	⊙	⊙
SITE LIGHT	⊙	⊙
JUNCTION/PULL BOX	⊙	⊙
MONUMENT WELL	⊙	⊙
BOLLARD	⊙	⊙
SIGN	⊙	⊙
FENCE	X	X
RETAINING WALL	---	---
BLOCK WALL	---	---
MAJOR CONTOUR	---	---
MINOR CONTOUR	---	---
GRADE BREAK LINE	---	---
TREE & DRIP	⊙	⊙
CONTROL POINT	⊙	⊙
FINISH FLOOR ELEVATION	FF: 123.00	FF: 123.00
SPOT ELEVATION (ASPHALT CONCRETE)	X 157.01 AC	X 13.34 AC
MATCH (E) GRADE ELEVATION	X	X
TRUNCATED DOMES	⊠	⊠
BUILDING	---	---

990 RESERVE DRIVE LLC.  
APN: 361-230-025-000  
RES PAR 10 LLA DOC  
2019R0083073

LAZY DOG RESTAURANTS  
LLC ET AL  
APN:361-230-014-000  
PAR 6 & POR PAR 10  
PMOR 34-93

ITEM	REQUIREMENTS	PROVIDED
BUILDING FOOTPRINT	8,255 SF (RESTAURANT) 2,255 SF LEASE SPACE*	10,800 SF OVERALL
PARKING REQUIRED	1 STALL PER EACH 100 SF AREA (RESTAURANT) = 83 STALLS 1 STALL PER 300 SF (RETAIL) 1 STALL PER 150 SF (GENERAL MEDICAL SERVICES) 2,255/150 = 15 STALLS*	98 STALLS
TOTAL STALLS		106 STALLS
STANDARD ACCESSIBLE STALLS	3 STALLS	3 STALLS
VAN ACCESSIBLE STALLS	1 STALLS	1 STALLS
TOTAL STALLS	4 STALLS	4 STALLS
STANDARD ACCESSIBLE EVCS	1 STALLS	1 STALLS
VAN ACCESSIBLE EVCS	1 STALLS	1 STALLS
STANDARD EV CAPABLE STALL EQUIPPED WITH EVSE (EVCS)	4 STALLS	4 STALLS
STANDARD EV CAPABLE STALL	19 STALLS	19 STALLS
TOTAL EV CAPABLE (INCLUDING EVSE)	25 STALLS	25 STALLS
MINIMUM PARKING DIMENSIONS	9 FT X 18 FT STD** 9 FT X 16 FT COMPACTS** 18 FT X 9 FT ACCESSIBLE**	18 FT X 9 FT STD. 9 FT X 16 FT COMPACTS. 18 FT X 9 FT ACCESSIBLE. 24 FT.
MIN. DRIVE ISLE WIDTH	30 FT.	
**MOST RESTRICTIVE FACTOR IS CONSIDERED IN REQUIRED PARKING CALCULATIONS.		
**PARKING STANDARDS PER CITY OF ROSEVILLE MUNICIPAL CODE 19.26.040		

## ABBREVIATIONS:

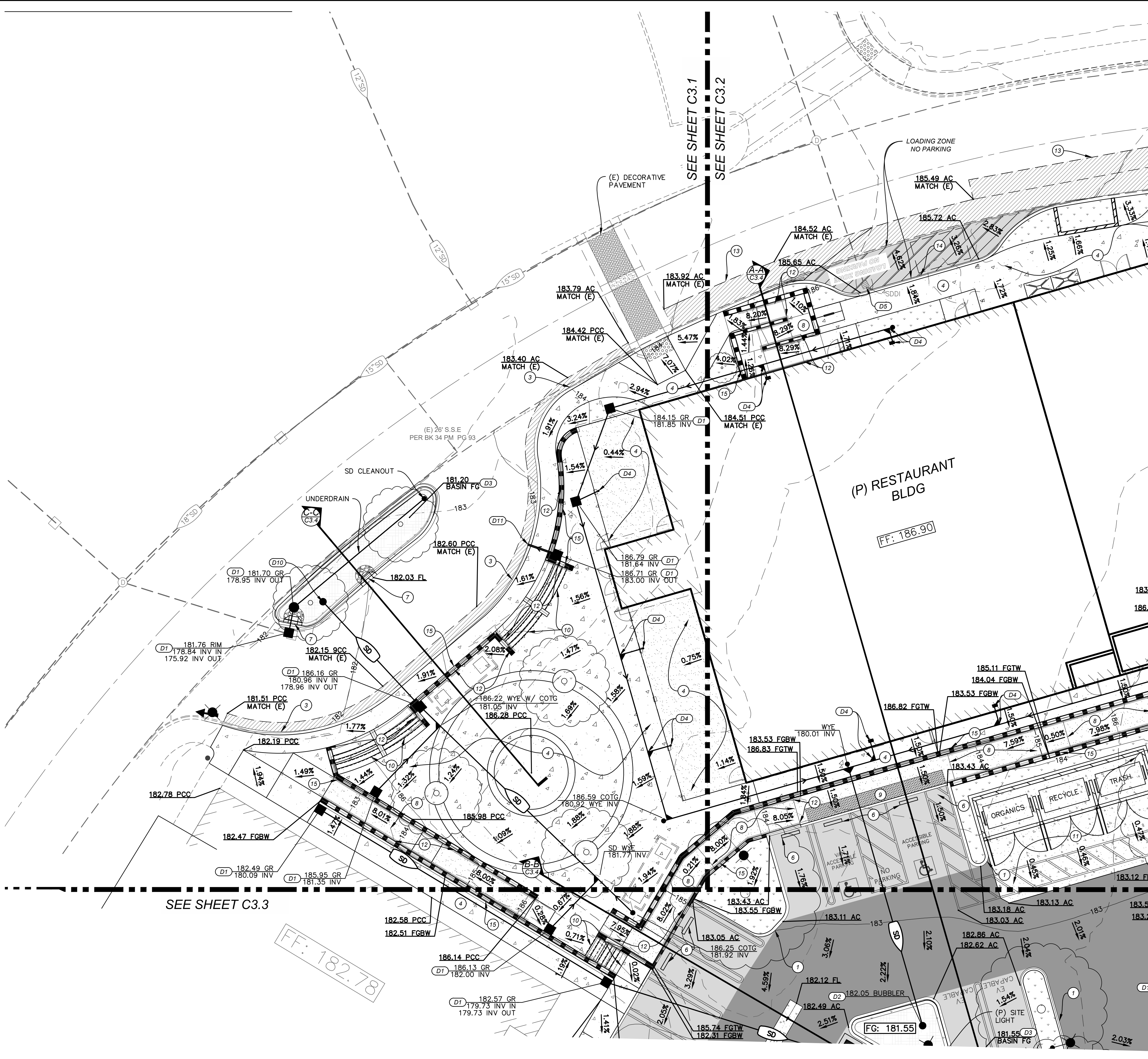
AB AGGREGATE BASE	CTV CABLE TV	FL FLOW LINE	LIP LIP OF GUTTER	POC POINT OF CONNECTION	SSMH SANITARY SEWER MANHOLE
AC ASPHALT CONCRETE	DCDA DOUBLE CHECK DETECTOR ASSEMBLY	FOC FACE OF CURB	LP LOW POINT	PRC POINT OF REVERSE CURVE	SWCT SAWCUT
ARV AIR RELEASE VALVE	DI DRAIN / DROP INLET	FP FINISH PAVEMENT	LT LEFT TURN OR LEFT	PT POINT OF TANGENCY	SW SIDEWALK OR SOUTHWEST STATION
BC BEGIN CURVE	DIP DUCTILE IRON PIPE	FS FIRE SPRINKLER	MX MAXIMUM	PUE PUBLIC UTILITY EASEMENT	STA STATION
BCR BEGIN CURVE RETURN	DS DOWN SPOUT	GB GRADE BREAK	MH MAINTENANCE HOLE	PVI POINT OF VERTICAL INTERSECTION	TC TOP OF CURB
BLDG BUILDING	EX EXISTING	GR GRATE ELEVATION	MIN MINIMUM	RC RELATIVE COMPACTION	TP TOP OF PAVEMENT
BCC BACK OF CURB	EC END CURVE	GV GATE VALVE	NE NORTHWEST	RCP REINFORCED CONCRETE PIPE	TS TOP OF SIDEWALK
BOW BACK-OF-WALK	ECR END CURB RETURN	GWV GROSS VEHICLE WEIGHT	OC ON CENTER	ROW RIGHT-OF-WAY	TW TOP OF WALL
BVC BEGIN VERTICAL CURVE	EP EDGE OF PAVEMENT	HCV HANDICAP	OH OVERHEAD	RT RIGHT TURN OR RIGHT	UNO UNLESS NOTED OTHERWISE
BW BOTTOM OF WALL	ETW EDGE OF TRAVELED WAY	HCR HANDICAP RAMP	OHT&E OVERHEAD TELEPHONE & ELECTRIC	RPPA REDUCED PRESSURE	W WATER
CAB CABINET	EVC END OF VERTICAL CURVE	HOPE HIGH DENSITY POLYETHYLENE	OMP OPEN METAL PIPE	PRINCIPLE ASSEMBLY	WV WATER VALVE
CONC CONCRETE	FDC FIRE DEPARTMENT CONNECTION	HP HIGH POINT	PROPOSED	RW RETAINING WALL	WM WATER METER
C&G CURB & GUTTER	FF FINISH FLOOR	IRR IRRIGATION	(P) PORTLAND CEMENT CONCRETE OR POINT OF COMPOUND CURVE	SASD SACRAMENTO AREA SEWER DISTRICT	WW WELDED WIRE FABRIC
CG&S CURB, GUTTER & SIDEWALK	FG FINISHED GROUND	INV INVERT	PGC PROFILE GRADE	SDMH STORM DRAIN MANHOLE	VCP VITRIFIED-CLAY PIPE
CH CHORD	FGW FINISHED GROUND @ BOT. WALL	I.E. INVERT ELEVATION	PPC PROFILE GRADE	SD STORM DRAIN	VIF VERIFY-IN-FIELD
CL CENTERLINE	FGTW FINISHED GROUND @ TOP OF WALL	JP JOINT POLE	PPIV POST INDICATOR VALVE	SE SOUTHEAST	
CM CORRUGATED METAL PIPE	FH FIRE HYDRANT	L LENGTH	PL PROPERTY LINE	SS SANITARY SEWER	
CR CURB RETURN		LF LINEAL FEET		SSCO SANITARY SEWER CLEAN OUT	

PRELIMINARY  
NOT FOR CONSTRUCTION  
 SHEET  
**C1**  
 1 of 7  
 05/03/2023

W:\2022 Projects\22-115 Highland Village Pad 4\Working CAD\C1-TITLE SHEET - PRELIM SITE PLAN-22-115.dwg May 03, 2023 - 01:56 pm



W:\2022 Projects\22-115 Highland Village Pad 4\WORKING CAD\C3-PRELIM - GRADING PLAN-22-115.dwg May 03, 2023-01:56 pm




**LEGEND:**

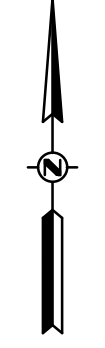
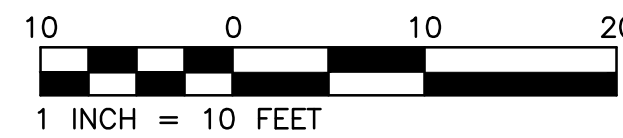
AC DRIVE AISLE (TI=6) 3" AC / 7" CL2 AB		SPOT ELEVATION (ABBREVIATION)	13.34 FC
AC PARKING (TI=4) 2.5" AC / 5" CL2 AB		MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)
HEAVY DUTY PCC 6" PCC / 4" CL2 AB WITH #4 X24" OC REBAR EACH WAY		INTERMEDIATE CONTOURS	25
LIGHT DUTY PCC 6" PCC / 4" CL2 AB		INDEX CONTOUR	
TYPE II SLURRY SEAL		STORM DRAIN PIPE	XX"SD
LANDSCAPING SEE PLANS BY OTHERS		DRAINAGE INLET	
BIORETENTION PLANTERS		STORM DRAIN MANHOLE	
BLOCK WALL		SURFACE FLOW/ DRAINAGE FLOW	
TRUNCATED DOMES		OVERLAND RELEASE	
GRADE BREAK LINE	GB	FINISHED FLOOR ELEVATION	FF: 123.00
		RETAINING WALL	

- CONSTRUCTION KEYNOTES:**
- 1 CONSTRUCT ON-SITE CONCRETE BARRIER CURB.
  - 2 CONSTRUCT ON-SITE RAISED CURB AND GUTTER.
  - 3 CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK.
  - 4 EXTERIOR CONCRETE FLATWORK/WALK
  - 5 CONSTRUCT 3' WIDE REINFORCED CONCRETE VALLEY GUTTER.
  - 6 PLACE CONCRETE WHEELSTOP.
  - 7 CONSTRUCT 2' CURB CUT.
  - 8 CONSTRUCT ACCESSIBLE RAMP.
  - 9 PLACE CAST-IN-PLACE TRUNCATED DOMES.
  - 10 CONSTRUCT EXTERIOR CONCRETE STAIRS.
  - 11 CONSTRUCT TRASH ENCLOSURE WITH CONCRETE APRON PER LATEST CITY OF ROSEVILLE STANDARD DETAIL SW-1. CONCRETE SLAB TO HAVE THICKENED EDGES. SEE ARCHITECTURAL DRAWINGS FOR MATERIAL DETAILS.
  - 12 INSTALL HANDRAILS PER ARCHITECTURAL PLANS AND DETAILS.
  - 13 SAWCUT ASPHALT AND TIE INTO EXISTING CONFORM PER LATEST CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS.
  - 14 CONSTRUCT ON-SITE RAISED CONCRETE BARRIER CURB.
  - 15 CONSTRUCT ON-SITE CONCRETE RETAINING WALL. SEE DETAIL 1, THIS SHEET FOR GENERAL DETAIL.
  - 16 DECORATIVE PAVEMENT TO MATCH (E)

- DRAINAGE KEYNOTES:**
- D1 INSTALL 24" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL) INVERT ELEVATIONS (I.E.) AS SHOWN PER PLAN. STRUCTURE AND GRATE FRAME SHALL WITHSTAND MIN H-20 LOADING IN VEHICULAR AREAS. DOME GRATE IS TO BE USED WITHIN LANDSCAPED AREAS.
  - D2 ROOF DOWNSPOUT TO CONNECT TO STORM DRAIN SYSTEM WITH BUBBLER EMITTER/OUTLET LOCATED IN BIORETENTION PLANTER. DOWNSPOUT LOCATIONS PER ARCHITECT.
  - D3 BIORETENTION PLANTER. BASIN FINISHED GRADE AND OVERFLOW GRATE ELEVATIONS PER PLANS.
  - D4 ROOF DOWNSPOUT LEADER TO CONNECT TO STORM DRAIN SYSTEM MANIFOLD WITH WYE CONNECTIONS. OFFSET SD CLEANOUT TO BE INSTALLED AND END OF THE MANIFOLD LINE. SYSTEM DOWNSPOUT LOCATIONS PER ARCHITECTURAL PLANS.
  - D5 DEMOLISH AND REMOVE (E) DRAIN BASIN. PLUG AND STUB (E) STORM DRAIN LATERAL.
  - D6 INSTALL PROPRIETARY CONTECH SFCB1 18" STORMFILTER CATCH BASIN. INVERTS PER CIVIL PLANS.
  - D7 INSTALL PROPRIETARY CONTECH 8'X6' FILTERRA FTBVS0806 BIOFILTRATION BASIN. INVERTS PER PLANS.
  - D8 INSTALL PROPRIETARY CONTECH 4.5'X4' FILTERRA FTBIC04504-C. INVERTS PER PLANS.
  - D9 INSTALL PROPRIETARY CONTECH 4'X6.5' FILTERRA FTBIC04065. INVERTS PER PLANS.
  - D10 NDS POP-UP DRAIN EMITTERS/ BUBBLER STORMDRAIN OUTLET LOCATED IN BIORETENTION PLANTER.
  - D11 STORMDRAIN TO OUTFALL THROUGH CURB CURB SIDE DRAIN/OUTLET.
- NOTE: ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.



**Know what's below.  
Call before you dig.  
or (800) 642-2444**

BY	CHECK NO.	DATE	REVISION	APPROVED	PRELIMINARY NOT FOR CONSTRUCTION
DESIGN	TSM	TSM	TSM	TSM	
DRAWN	KSD	KSD	KSD	KSD	
QUANT.	0	1	2	2	



**PRELIMINARY  
NOT FOR CONSTRUCTION  
OF CALL**



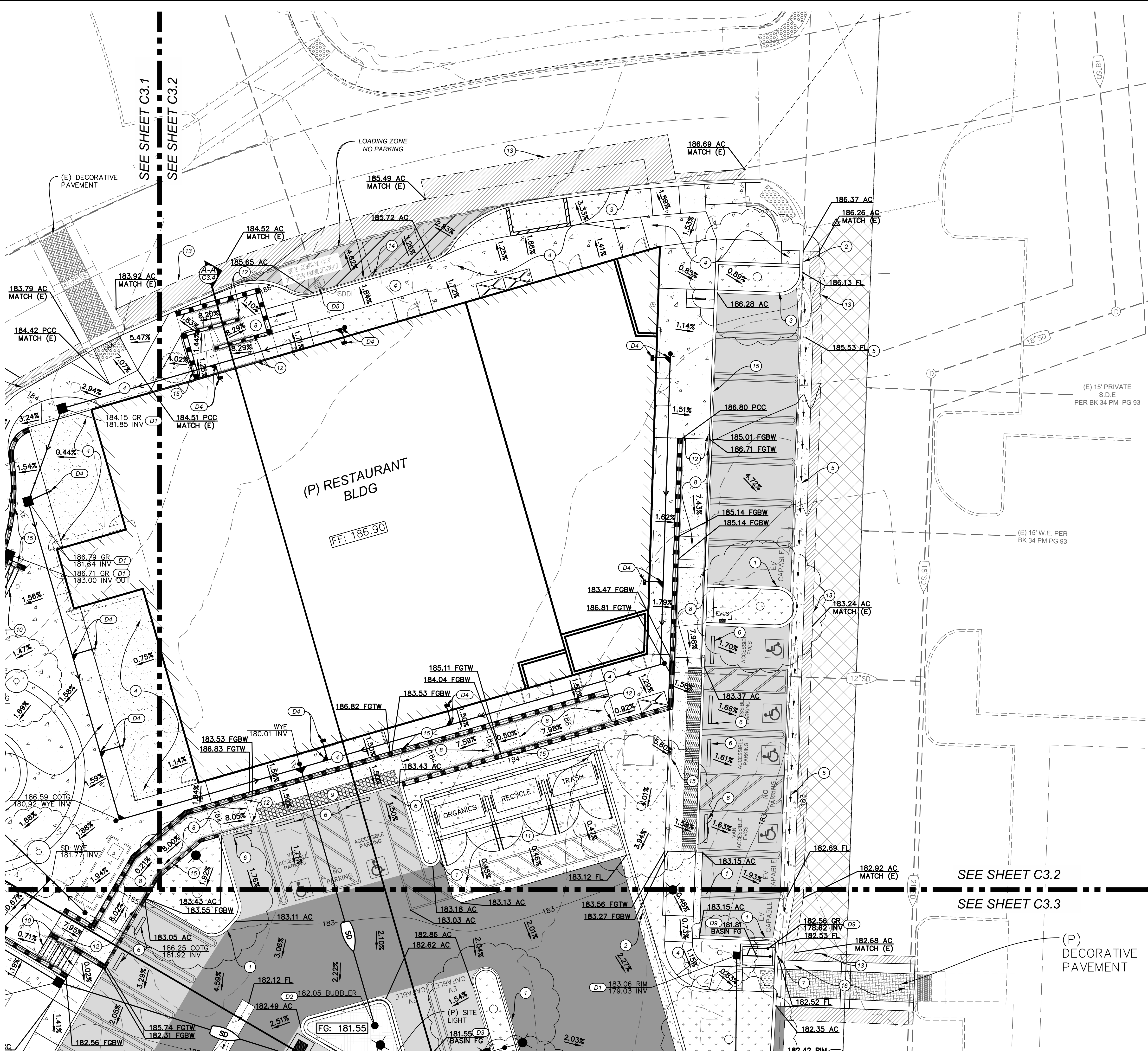
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Ph: 770.772.7800 | www.cwecorp.com

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564 N SUNRISE  
ROSEVILLE CA 95661

**HIGHLAND VILLAGE PAD 4**  
246 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678  
**PRELIMINARY GRADING,  
DRAINAGE, & PAVING PLAN 1**

Sheet	C3.1
3 of 7	05/03/2023

W:\2022 Projects\22-115 Highland Village Pad 4\WORKING CAD\C3-PRELIM - GRADING PLAN-22-115.dwg May 03, 2023-01:57 pm



**LEGEND:**

AC DRIVE AISLE (TI=6) 3" AC / 7" CL2 AB		SPOT ELEVATION (ABBREVIATION)	13.34 FC
AC PARKING (TI=4) 2.5" AC / 5" CL2 AB		MATCH (E) GRADE ELEVATION	13.61 AC MATCH (E)
HEAVY DUTY PCC 6" PCC / 4" CL2 AB WITH #4 X24" OC REBAR EACH WAY		INTERMEDIATE CONTOURS	25
LIGHT DUTY PCC 6" PCC / 4" CL2 AB		INDEX CONTOUR	
TYPE II SLURRY SEAL		STORM DRAIN PIPE	XX"SD
LANDSCAPING SEE PLANS BY OTHERS		DRAINAGE INLET	
BIORETENTION PLANTERS		STORM DRAIN MANHOLE	
BLOCK WALL		SURFACE FLOW / DRAINAGE FLOW	
TRUNCATED DOMES		OVERLAND RELEASE	
GRADE BREAK LINE	GB	FINISHED FLOOR ELEVATION	FF: 123.00
		RETAINING WALL	

- CONSTRUCTION KEYNOTES:**
- 1 CONSTRUCT ON-SITE CONCRETE BARRIER CURB.
  - 2 CONSTRUCT ON-SITE RAISED CURB AND GUTTER.
  - 3 CONSTRUCT MONOLITHIC CONCRETE CURB AND SIDEWALK.
  - 4 EXTERIOR CONCRETE FLATWORK/WALK.
  - 5 CONSTRUCT 3" WIDE REINFORCED CONCRETE VALLEY GUTTER.
  - 6 PLACE CONCRETE WHEELSTOP.
  - 7 CONSTRUCT 2" CURB CUT.
  - 8 CONSTRUCT ACCESSIBLE RAMP.
  - 9 PLACE CAST-IN-PLACE TRUNCATED DOMES.
  - 10 CONSTRUCT EXTERIOR CONCRETE STAIRS.
  - 11 CONSTRUCT TRASH ENCLOSURE WITH CONCRETE APRON PER LATEST CITY OF ROSEVILLE STANDARD DETAIL SW-1. CONCRETE SLAB TO HAVE THICKENED EDGES. SEE ARCHITECTURAL DRAWINGS FOR MATERIAL DETAILS.
  - 12 INSTALL HANDRAILS PER ARCHITECTURAL PLANS AND DETAILS.
  - 13 SAWCUT ASPHALT AND TIE INTO EXISTING CONFORM PER LATEST CITY OF ROSEVILLE STANDARDS AND SPECIFICATIONS.
  - 14 CONSTRUCT ON-SITE RAISED CONCRETE BARRIER CURB.
  - 15 CONSTRUCT ON-SITE CONCRETE RETAINING WALL. SEE DETAIL 1, THIS SHEET FOR GENERAL DETAIL.
  - 16 DECORATIVE PAVEMENT TO MATCH (E)

- DRAINAGE KEYNOTES:**
- D1 INSTALL 24" NYLOPLAST DRAIN BASIN (OR APPROVED EQUAL) INVERT ELEVATIONS (I.E.) AS SHOWN PER PLAN. STRUCTURE AND GRATE FRAME SHALL WITHSTAND MIN H-20 LOADING IN VEHICULAR AREAS. DOME GRATE IS TO BE USED WITHIN LANDSCAPED AREAS.
  - D2 ROOF DOWNSPOUT TO CONNECT TO STORM DRAIN SYSTEM WITH BUBBLER EMITTER/OUTLET LOCATED IN BIORETENTION PLANTER. DOWNSPOUT LOCATIONS PER ARCHITECT.
  - D3 BIORETENTION PLANTER. BASIN FINISHED GRADE AND OVERFLOW GRATE ELEVATIONS PER PLANS.
  - D4 ROOF DOWNSPOUT LEADER TO CONNECT TO STORM DRAIN SYSTEM MANIFOLD WITH WYE CONNECTIONS. OFFSET SD CLEANOUT TO BE INSTALLED AND END OF THE MANIFOLD LINE. SYSTEM DOWNSPOUT LOCATIONS PER ARCHITECTURAL PLANS.
  - D5 DEMOLISH AND REMOVE (E) DRAIN BASIN. PLUG AND STUB (E) STORM DRAIN LATERAL.
  - D6 INSTALL PROPRIETARY CONTECH SFCB1 18" STORMFILTER CATCH BASIN. INVERTS PER CIVIL PLANS.
  - D7 INSTALL PROPRIETARY CONTECH 8'X6' FILTERRA FTBSV0806 BIOFILTRATION BASIN. INVERTS PER PLANS.
  - D8 INSTALL PROPRIETARY CONTECH 4.5'X4' FILTERRA FTBIC04504-C. INVERTS PER PLANS.
  - D9 INSTALL PROPRIETARY CONTECH 4X6.5 FILTERRA FTBIC04065. INVERTS PER PLANS.
  - D10 NDS POP-UP DRAIN EMITTERS/ BUBBLER STORMDRAIN OUTLET LOCATED IN BIORETENTION PLANTER.
  - D11 STORMDRAIN TO OUTFALL THROUGH CURB CURB SIDE DRAIN/OUTLET.
- NOTE: ALL STORM DRAIN MATERIAL TO BE SDR-35 PVC OR APPROVED EQUIVALENT.

811

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**PRELIMINARY**

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**HIGHLAND VILLAGE PAD 4**  
246 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678  
**PRELIMINARY GRADING,  
DRAINAGE, & PAVING PLAN 2**

Sheet  
**C3.2**  
4 of 7  
05/03/2023

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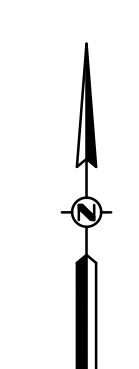


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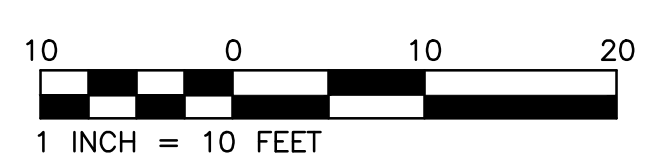
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TYPE II SLURRY SEAL		STORM DRAIN PIPE	
LANDSCAPING SEE PLANS BY OTHERS		DRAINAGE INLET	
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		RETAINING WALL	

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1" = 10'

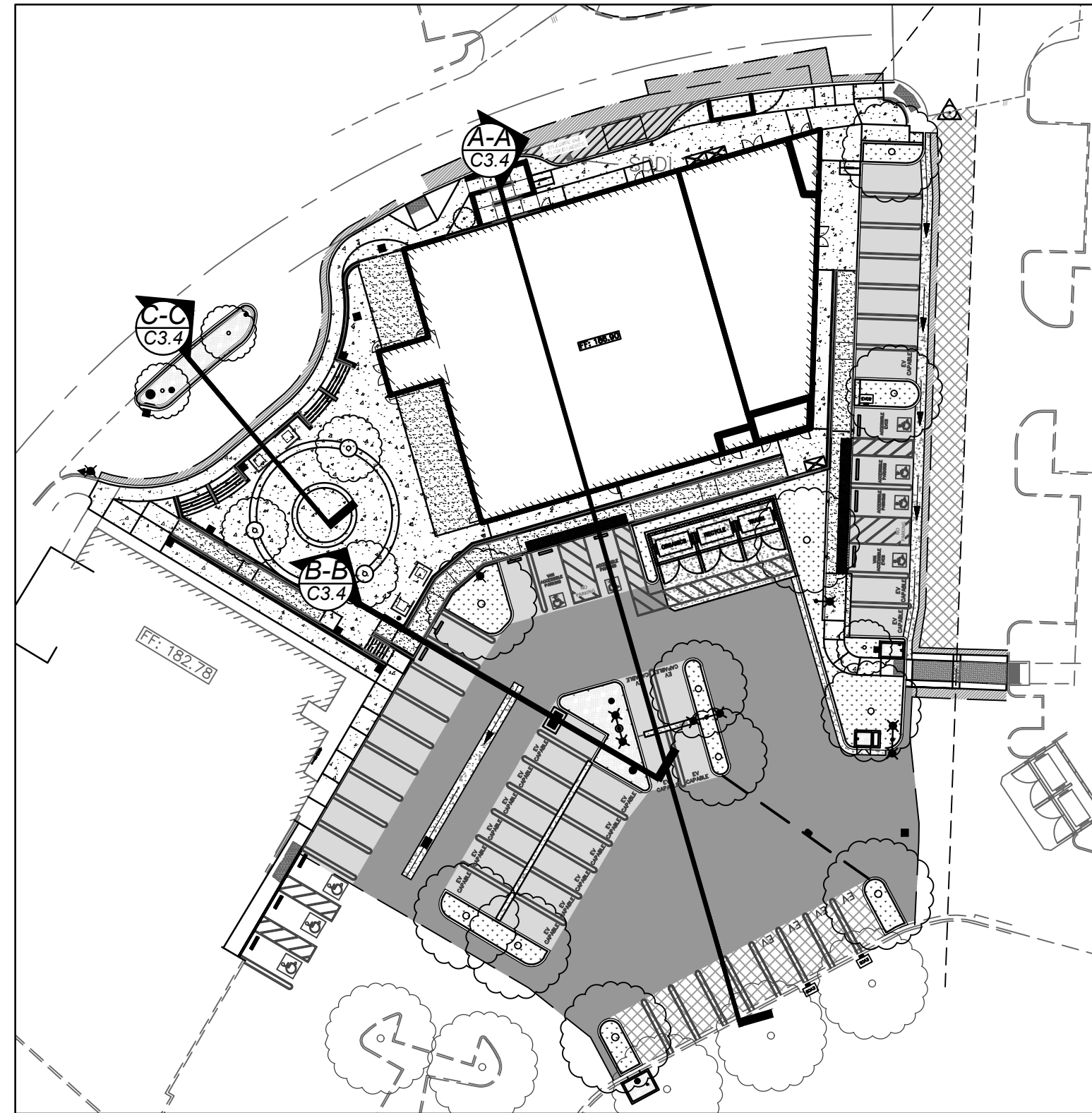


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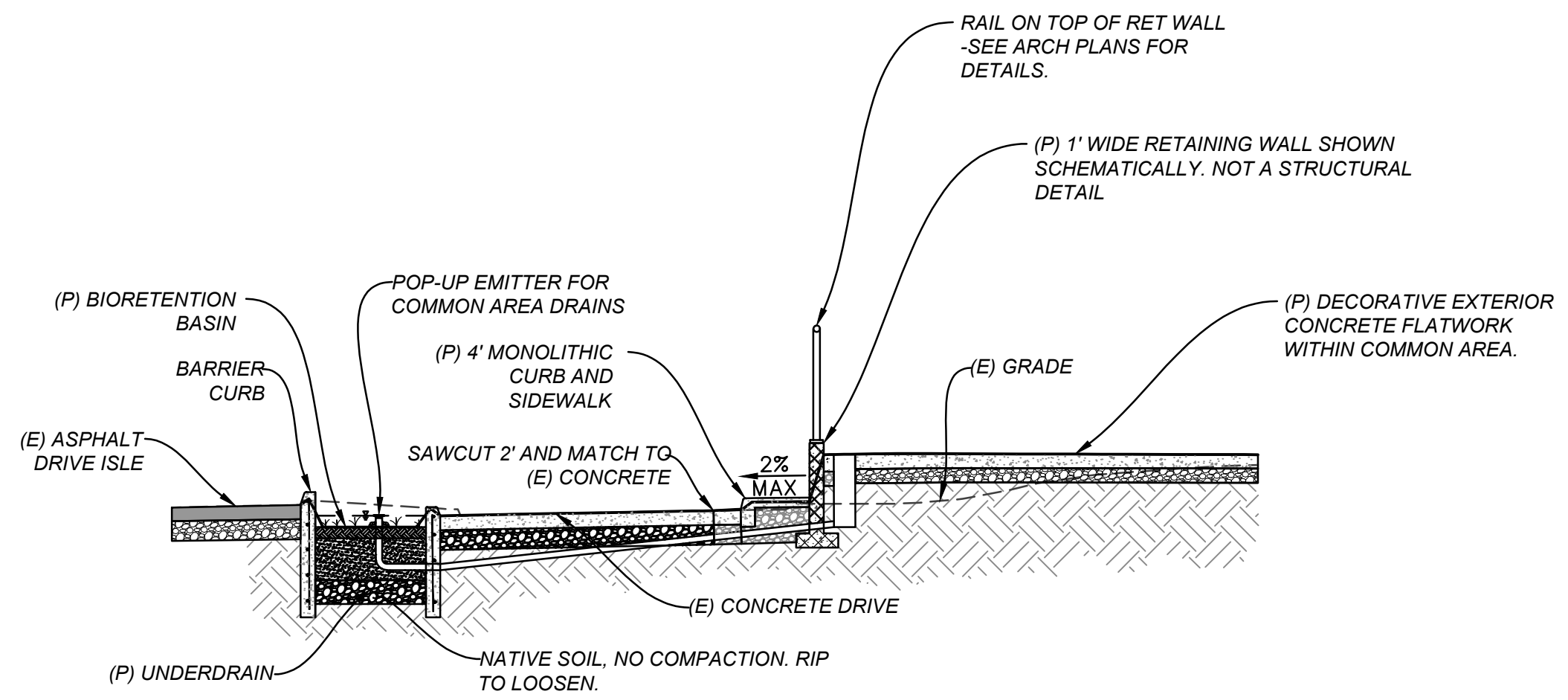
**HIGHLAND VILLAGE PAD 4**  
246 GIBSON DRIVE, ROSEVILLE  
ROSEVILLE, CA 95678  
**PRELIMINARY GRADING,  
DRAINAGE, & PAVING PLAN 3**

Sheet  
**C3.3**  
5 of 7  
05/03/2023



# SECTION KEY MAP

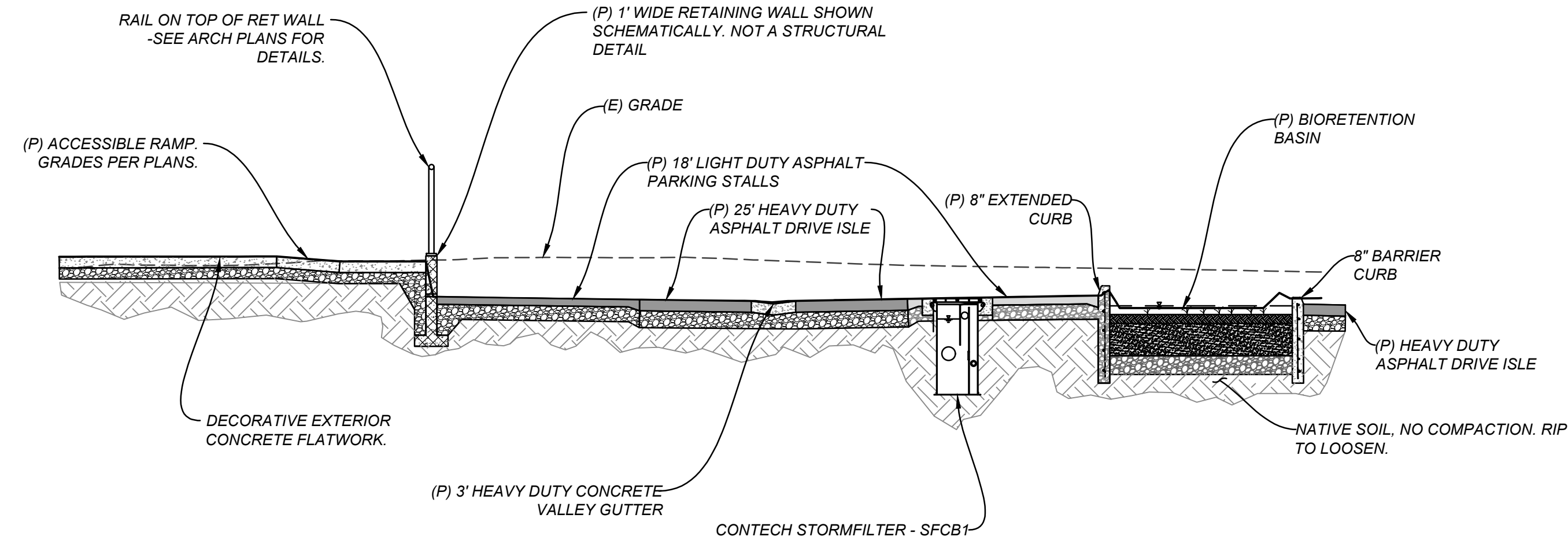
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C-C

## SECTION 'C-C'

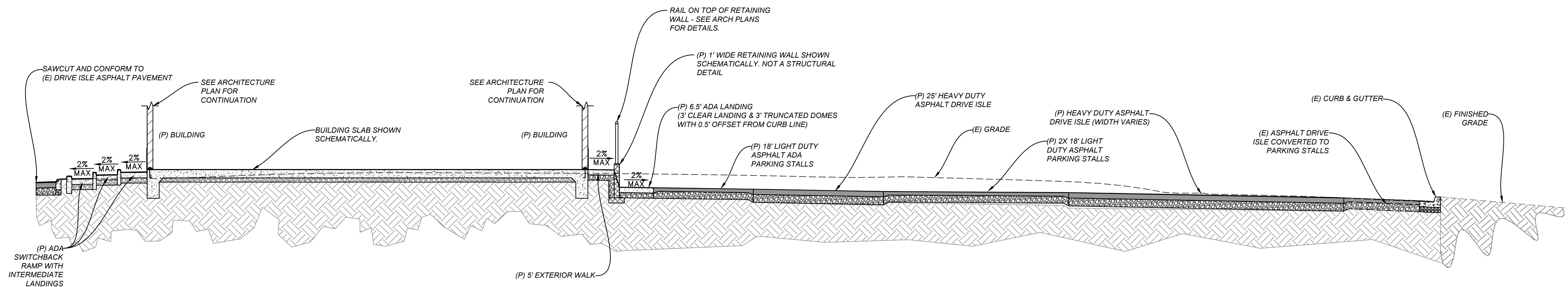
1"=10' HORIZONTAL  
1"=2' VERTICAL



B-B

## SECTION 'B-B'

1"=10' HORIZONTAL  
1"=2' VERTICAL



A-A

## SECTION 'A-A'

1"=10' HORIZONTAL  
1"=2' VERTICAL

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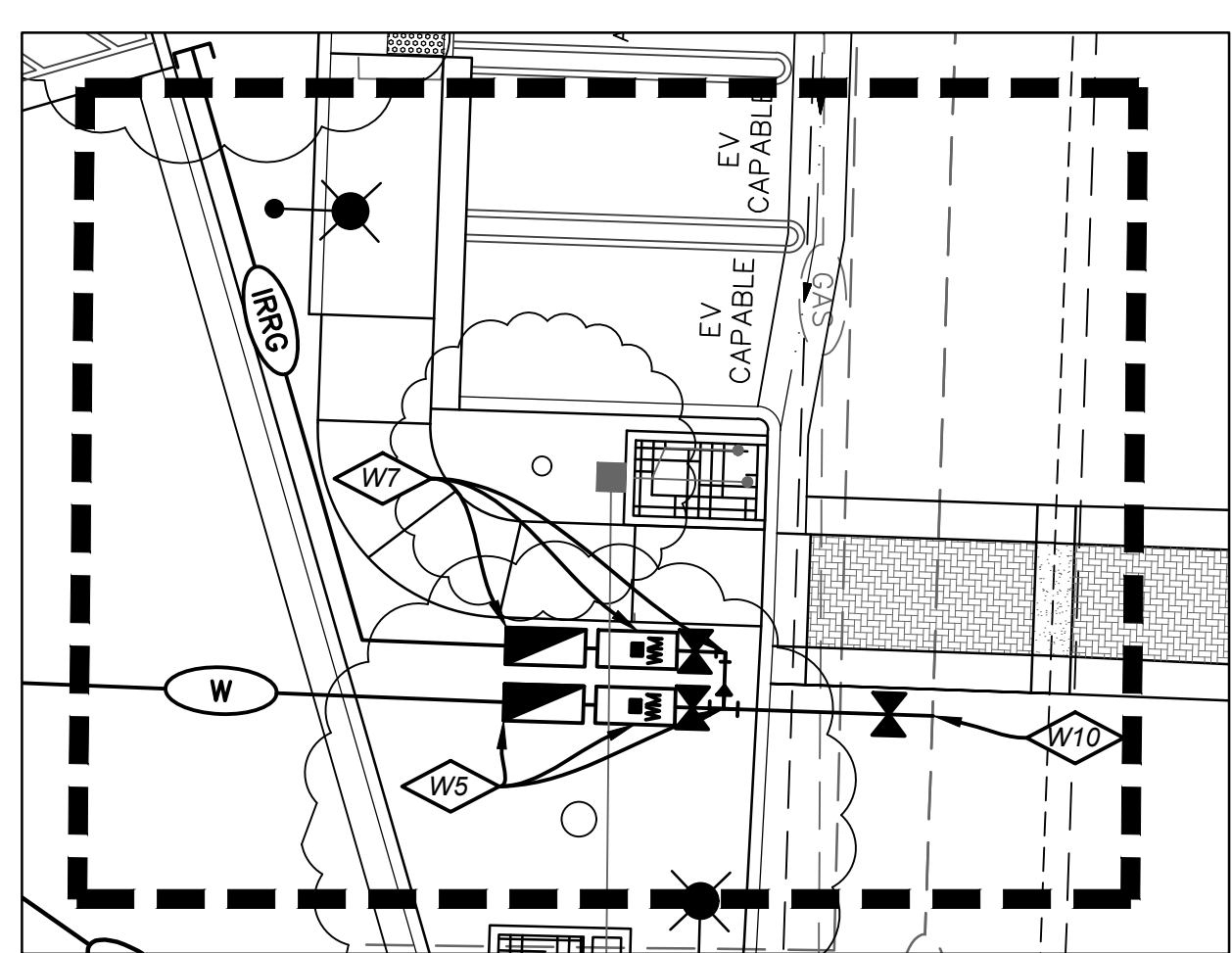
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HIGHLAND VILLAGE PAD 4  
246 GIBSON DRIVE, ROSEVILLE  
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PRELIMINARY SITE  
CROSS SECTIONS

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CWE PROJECT R22115 - HIGHLAND VILLAGE PAD 4 - ROSEVILLE, CA



**1** WATER SERVICE CONNECTION DETAIL  
C4 NOT TO SCALE

DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER	XX"SS	XX"SS
WATER	XX"W	XX"W
FIRE SERVICE	XX"FS	XX"FS
STORM DRAIN	XX"SD	XX"SD
SSMH	○	○
SSCO	○	○
FIRE HYDRANT	○	○
P/V	○	○
FDC	○	○
WATER VALVE	○	○
WATER METER	○	○
REDUCED PRESSURE BACKFLOW PREVENTER	○	○
STREET LIGHT	○	○
FITTINGS	○	○

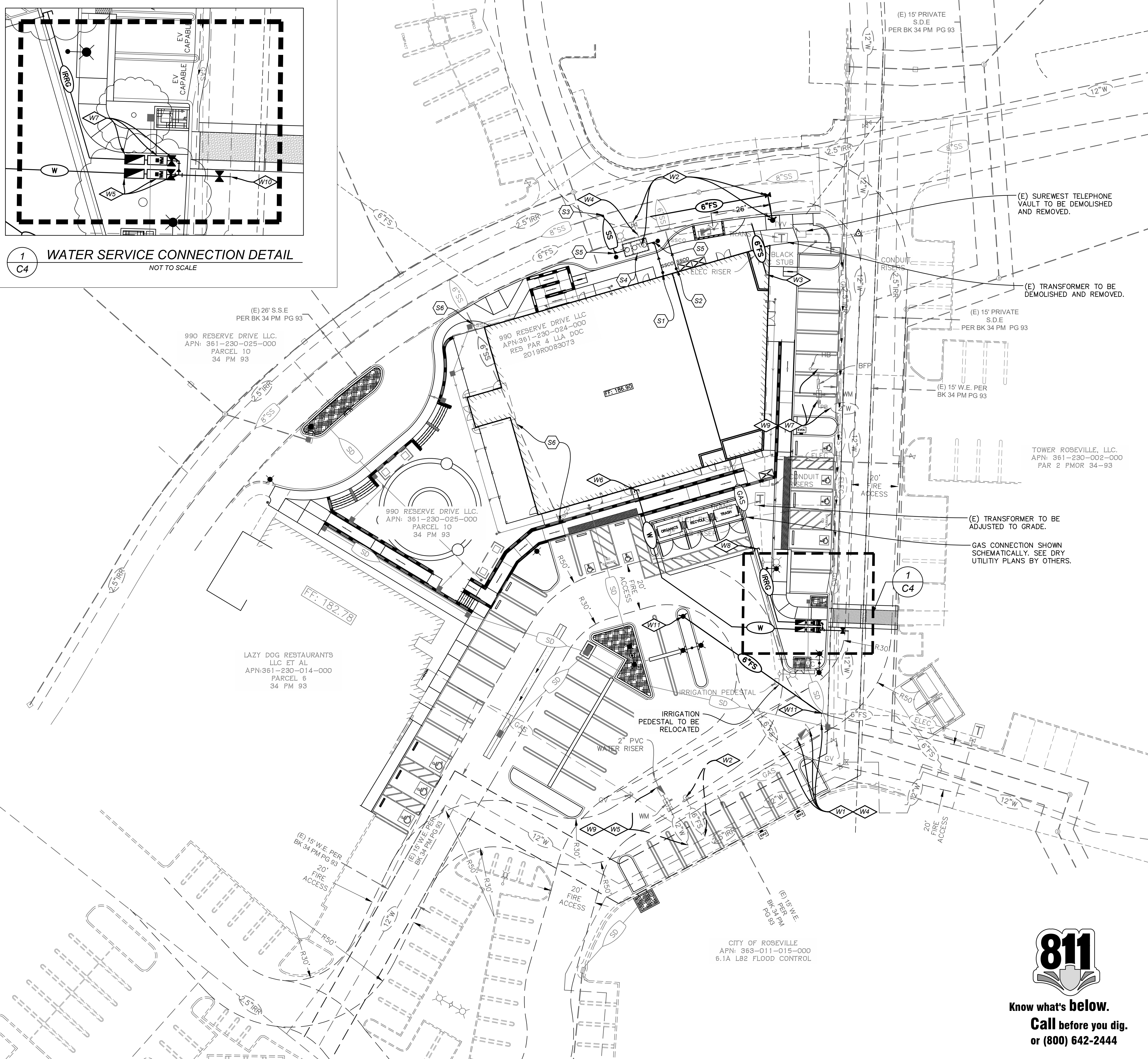
**SANITARY SEWER CONSTRUCTION KEYNOTES:**

- S1 GREASE INTERCEPTOR POINT OF CONNECTION TO BUILDING. INSTALL TWO-WAY CLEANOUT TO GRADE PER LATEST CPC. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- S2 (E) SANITARY SEWER POINT OF CONNECTION TO BUILDING. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- S3 CONNECT (P) 6" COMMERCIAL SEWER LATERAL TO (E) SEWER MAIN WITH WYE PER PLAN. VERIFY SIZE, LOCATION, AND INVERT OF PROPOSED PIPE CONNECTION PRIOR TO CONSTRUCTION. IF DIFFERENT FROM WHAT IS SHOWN ON PLANS, CONTACT ENGINEER. MINIMUM SLOPE TO THE BUILDING TO BE 2.0% MIN.
- S4 INSTALL JENSEN PRECAST 1,500 GALLON GREASE INTERCEPTOR MODEL JP1500ECE-G FOR NEW SANITARY SEWER LINE PER CITY OF ROSEVILLE STANDARD DETAIL SS-6. TRENCHING AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARD DETAIL SS-1.
- S5 INSTALL COMBINATION WYE & 1/2 BEND WITH OFFSET CLEANOUT TO GRADE PER LATEST CPC.
- S6 DEMOLISH AND REMOVE (E) SEWER SERVICE LATERAL AND CLEANOUT.

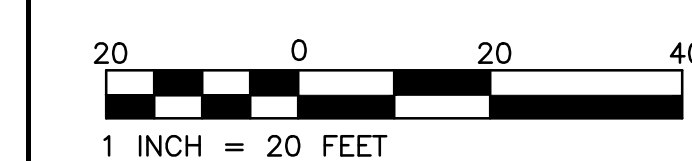
**WATER CONSTRUCTION KEYNOTES:**

- W1 REMOVE FIRE SERVICE APPURTENANCES AND ABANDON ON-SITE FIRE SERVICE LINE PER PLANS AND CITY OF ROSEVILLE STANDARDS.
- W2 RELOCATE 6" FIRE HYDRANT ASSEMBLY PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-13. ABANDON (E) LATERAL CONNECTION PER CITY STANDARDS. EXTEND (E) FIRE SERVICE MAIN WHEN RELOCATING FIRE HYDRANT ASSEMBLY. TRENCHING AND BACKFILL SHALL BE IN ACCORDANCE WITH CITY OF ROSEVILLE STANDARD DETAIL W-1.
- W3 6" FIRE SERVICE POINT OF CONNECTION TO BUILDING. SEE FIRE SPRINKLER PLANS BY OTHERS FOR CONTINUATION.
- W4 ABANDON (E) ON-SITE FIRE SERVICE LINE PER PLANS AND CITY OF ROSEVILLE STANDARDS.
- W5 RELOCATE (E) 2" COMMERCIAL WATER SERVICE TAP, METER, AND REDUCED PRESSURE BACKFLOW PREVENTER PER CITY OF ROSEVILLE STANDARDS. REFERENCE CITY DETAIL W-7. ABANDON ON-SITE WATER SERVICE LINE PER PLANS AND CITY OF ROSEVILLE STANDARDS.
- W6 2" COMMERCIAL WATER SERVICE POINT OF CONNECTION TO BUILDING. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- W7 RELOCATE (E) 2" COMMERCIAL WATER SERVICE AND APPURTENANCES PER CITY OF ROSEVILLE STANDARDS. INSTALL AS NEW IRRIGATION WATER SERVICE WITH REDUCED PRESSURE BACKFLOW PREVENTER PER PLANS. REFERENCE CITY DETAIL W-8.
- W8 IRRIGATION SERVICE POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION WITH PLUMBING PLANS.
- W9 ABANDON (E) ON-SITE WATER SERVICE LINE PER PLANS AND CITY OF ROSEVILLE STANDARDS.
- W10 RELOCATE (E) WATER SERVICE TAP TO NEW LOCATION ON (E) 12" MAIN PER PLANS.
- W10 EXTEND FIRE SERVICE LINE AND INSTALL NEW HYDRANT.

WATER NOTES:  
 1) WATER PIPE SIZES 4" - 12" SHALL BE C-900 PVC.  
 2) WATER PIPE SIZES <4" SHALL BE SCHEDULE 80 PVC.

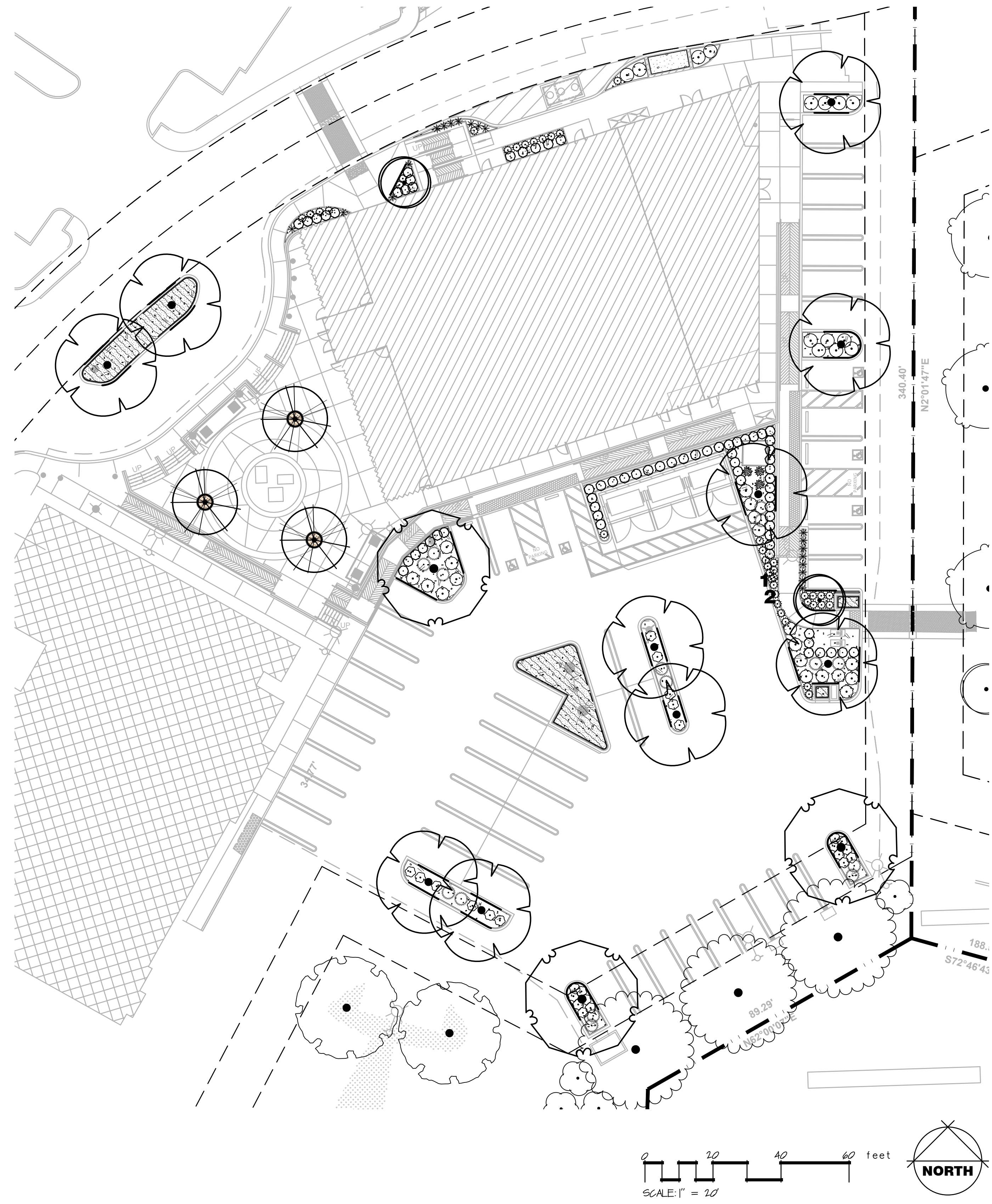


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 HIGHLAND VILLAGE PAD 4 - ROSEVILLE, CA  
 246 GIBSON DRIVE, ROSEVILLE  
 ROSEVILLE, CA 95678  
 PRELIMINARY WATER &  
 SANITARY SEWER PLAN  
 Sheet  
**C4**  
 7 of 7  
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**REFERENCE NOTES SCHEDULE**

SYMBOL	SITE FURNISHINGS DESCRIPTION	QTY	
S-101	ROOT BARRIER-SEE DETAIL 24" DEEP X 10' WIDE (CENTERED ON TRUNK). PLACE ADJACENT TO HARDSCAPE	353 LF	
SYMBOL	MULCH DESCRIPTION	QTY	NOTES
[Symbol]	ORGANIC RECYCLED MULCH-3" DEPTH	26.99 CY	
[Symbol]	GRAVEL MULCH - 3" DEPTH - 3/4"	0.88 CY	CA GOLD OR EQUAL

**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONT	WATER USE	MATURE WIDTH	QTY
[Symbol]	LAGERSTROEMIA INDICA 'ALBA' WHITE GRAPE MYRTLE	15 GAL	LOW	20' TO 25' DIA	3
[Symbol]	QUERCUS LOBATA VALLEY OAK	15 GAL	LOW	35' TO 40' DIA	3
[Symbol]	RHUS LANCEA AFRICAN SUMAC	15 GAL	LOW	15' TO 20' DIA	2
[Symbol]	ULMUS WILSONIANA 'PROSPECTOR' PROSPECTOR ELM	15 GAL	LOW	30' TO 35' DIA	10
EXISTING TREES	BOTANICAL / COMMON NAME	CONT	WATER USE	MATURE WIDTH	QTY
[Symbol]	CERCIS OCCIDENTALIS WESTERN REDBUD	EXISTING	LOW	10' TO 15' DIA	4
[Symbol]	PISTACIA CHINENSIS CHINESE PISTACHE	EXISTING	LOW	25' TO 30' DIA	3
[Symbol]	QUERCUS COCCINEA SCARLET OAK	EXISTING	MEDIUM	30' TO 35' DIA	2
[Symbol]	QUERCUS LOBATA VALLEY OAK	EXISTING	LOW	35' TO 40' DIA	3
[Symbol]	RHUS LANCEA AFRICAN SUMAC	EXISTING	LOW	15' TO 20' DIA	1
SHRUBS	BOTANICAL / COMMON NAME	SIZE	WATER USE	MATURE WIDTH	QTY
[Symbol]	CALAMAGROSTIS X ACUTIFLORA 'STRICTA' FEATHER REED GRASS	1 GAL	LOW	3' DIA	3
[Symbol]	HELIOTRICHON SEMPERVIRENS 'SAPPHIRE' SAPPHIRE BLUE OAT GRASS	1 GAL	LOW	2' DIA	19
[Symbol]	LANTANA X 'NEW GOLD' NEW GOLD LANTANA	1 GAL	LOW	5' DIA	19
[Symbol]	MUHLENBERGIA RIGENS DEER GRASS	1 GAL	LOW	5' DIA	15
[Symbol]	NEPETA X 'WALKER'S LOW' WALKER'S LOW CATMINT	1 GAL	LOW	3' DIA	40
[Symbol]	ROSMARINUS OFFICINALIS 'BLUE SPIRES' ROSEMARY	1 GAL	LOW	3' DIA	68
[Symbol]	ROSMARINUS OFFICINALIS 'HUNTINGTON CARPET' HUNTINGTON CARPET ROSEMARY	1 GAL	LOW	5' DIA	15
[Symbol]	SALVIA CLEVELANDII CLEVELAND SAGE	1 GAL	LOW	3' DIA	25
SHRUB AREAS	BOTANICAL / COMMON NAME	CONT	WATER USE	MATURE WIDTH	QTY
[Symbol]	JUNGUS PATENS CALIFORNIA GRAY RUSH	1 GAL	MEDIUM	2' DIA	176

project:  
**HIGHLAND VILLAGE PAD 4**

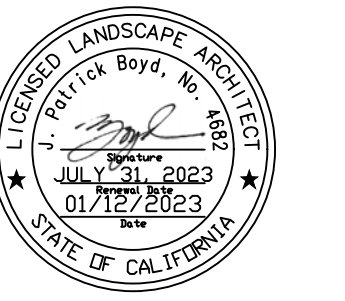
**246 GIBSON DR. ROSEVILLE, CA 95678**

client:  
**990 RESERVE DRIVE LLC**

**564 N. SUNRISE ROSEVILLE, CA 95661**

des:ignlab **252**

P.O. Box 27616 Fresno, CA 93729  
Studio: 559.472.9966 Fax: 559.472.9969



drawn by: **KJ** checked by: **PB**

submittal: **No. 1** date: **04/23/2023**  
**No. 2**  
**No. 3**  
**No. 4**

scale: 1"=20'-0"  
sheet title:

**PLANTING PLAN**

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN.

J. PATRICK BOYD, LLA No. 4682 DATE: 04/19/2023

sheet no.

**LA-1**

project no. 23-01-002



ELECTRICAL LEGEND	
<b>POWER</b>	
	SINGLE RECEPTACLE
	DUPLEX RECEPTACLE
	ABOVE COUNTER DUPLEX RECEPTACLE
	DOUBLE DUPLEX RECEPTACLE
	DUPLEX GFCI RECEPTACLE
	ABOVE COUNTER DUPLEX GFCI RECEPTACLE
	FLOOR MOUNT RECEPTACLE
	SPECIAL RECEPTACLE
	DUPLEX RECEPTACLE OUTLET-SPLIT WIRED
	PANEL BOARD
	E-CONNECTION - CEILING / WALL
	DISTRIBUTION PANEL
<b>LIGHTING</b>	
	SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	DIMMER SWITCH
	VACANCY SENSOR (WALL MOUNT)
	OCCUPANCY SENSOR (WALL MOUNT)
	OCCUPANCY SENSOR AND DIMMER SWITCH (WALL MOUNT)
	OCCUPANCY SENSOR (CEILING)
	VACANCY SENSOR (CEILING)
	BATTERY EMERGENCY LIGHT (WALL MOUNT)
	EXIT SIGN
X	UPPERCASE LETTER DENOTES FIXTURE TAG
x	LOWERCASE LETTER DENOTES SWITCH DESIGNATION
<b>LOW VOLTAGE</b>	
	VOICE/DATA OUTLET
	VOICE (TELEPHONE)
	DATA OUTLET
<b>ANNOTATION</b>	
	KEYED NOTE TAG
	KEYED NOTE TAG
	REVISION NOTE TAG
	SCCR VALUE
<b>MISCELLANEOUS</b>	
	JUNCTION BOX
	WALL MOUNTED JUNCTION BOX
	FLOOR MOUNTED JUNCTION BOX
	PULL BOX
	FLEXIBLE CONDUIT WHIP - MAX 6'-0" IN LENGTH
	METER
	CIRCUIT BREAKER
	DISCONNECT SWITCH
	FUSED SWITCH. "AS" INDICATES AMPERE SWITCH RATING, "AF" INDICATES AMPERE FUSE RATING, NUMBER OF POLES AS INDICATED.
<b>FIRE ALARM</b>	
	FIRE ALARM VISUAL ANNUNCIATION DEVICE (STROBE)
	FIRE ALARM AUDIBLE / VISUAL ANNUNCIATION DEVICE (HORN / STROBE)
	FIRE ALARM STAND ALONE SMOKE DETECTOR WITH 90 MINUTES BATTERY BACKUP
	FIRE ALARM DUCT DETECTOR
	FIRE ALARM HEAT PULL STATION
	FIRE ALARM ADDRESSABLE RELAY MODULE
	FIRE ALARM CONTROL PANEL
	FIRE ALARM DUCT DETECTOR TEST STATION (KEYED, AUDIBLE/VISUAL)
	FIRE ALARM CO DETECTOR WITH 90 MINUTES BATTERY BACKUP
	FIRE ALARM CARBON MONOXIDE AND SMOKE DETECTOR COMBO WITH 90 MINUTES BATTERY BACKUP
	FIRE ALARM MONITOR MODULE

ELECTRICAL ABBREVIATIONS	
AC	ALTERNATING CURRENT
AF	AMPERE FUSE RATING
AIC	AMPERE INTERRUPTING CAPACITY
AM	AMMETER
AMP, A	AMPERES
AS	AMPERE SWITCH RATING
AT	AMPERE TRIP RATING OR BREAKER
C	CONDUIT
CKT	CIRCUIT
CP	CONTROL PANEL
D	DEDICATED
DISC	DISCONNECT
E	EXISTING
EC	ELECTRICAL CONTRACTOR
EM	EMERGENCY LIGHT WITH 90MIN BATTERY BACKUP
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT CIRCUIT INTERRUPTER
GND, GRD, G	GROUND
KCMIL	THOUSAND CIRCULAR MIL(S)
KVA	KILOVOLT AMPERES
KW	KILOWATTS
MC	MECHANICAL CONTRACTOR
MT	MOUNT
N	NEW
P	POLE
PH	PHASE
PC	PLUMBING CONTRACTOR
SCCR	SHORT CIRCUIT CURREBT RATING
SM	SURFACE MOUNT
TC	TIMECLOCK
TGB	TELECOMMUNICATIONS GROUND BUS
TTC	TELEPHONE TERMINAL CABINET
V	VOLTS
VA	VOLT AMPS
W	WALL MOUNT AT 48" A.F.F.
WP	WEATHERPROOF
WR	WEATHER RESISTANCE

ELECTRICAL CODE COMPLIANCE	
CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES AND LOCAL AMENDMENTS.	
2022 CALIFORNIA BUILDING STANDARDS CODE, TITLE 24	
2022 CALIFORNIA BUILDING CODE (CBC)	
2022 CALIFORNIA ELECTRICAL CODE (CEC)	
2022 CALIFORNIA ENERGY CODE	
2022 CALIFORNIA GREEN (CAL GREEN) BUILDING STANDARDS CODE	
2022 CALIFORNIA PLUMBING CODE (CPC)	
2022 CALIFORNIA MECHANICAL CODE (CMC)	
2022 CALIFORNIA FIRE CODE	
<b>ELECTRICAL CIRCUIT TAG</b>	
X-	FIXTURE/EQUIPMENT TAG/DESCRIPTION CIRCUIT
X-	SWITCH NUMBER IF OPERATED BY SWITCH
X-	PANEL NAME - CIRCUIT NUMBER ON PANEL SCHEDULE

LINEWEIGHT LEGEND	
	NEW
	EXISTING
	DEMO

ELECTRICAL SHEET INDEX			
SR NO.	SHEET NO.	SHEET NAME	SCALE
1	E0.0	ELECTRICAL COVER SHEET	N.T.S.
2	E1.0	LIGHTING SITE PLAN	1/2" = 1'-0"
3	E5.0	ELECTRICAL ONE LINE DIAGRAM AND SCHEDULE	N.T.S.
4	E8.0	ELECTRICAL PHOTOMETRIC PLAN	1/2" = 1'-0"

ELECTRICAL GENERAL NOTES	
1.	ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND ALL OTHER DRAWINGS RELATED TO THE PERFORMANCE OF THE WORK.
2.	THE CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THIS WORK SHALL BECOME THOROUGHLY FAMILIAR WITH THE PROJECT SPECIFICATIONS BEFORE COMMENCING ANY WORK. THE PROJECT SPECIFICATIONS AND DRAWINGS FORM THE BASIS OF THIS CONTRACT REQUIREMENTS AND INCLUDE THE TYPE AND GRADE OF MATERIALS TO BE INSTALLED, A CONFLICT BETWEEN THE PROJECT SPECIFICATIONS AND DRAWINGS, SPECIFICATIONS GOVERN UNLESS THE ARCHITECT/ENGINEER DIRECTS OTHERWISE.
3.	THE CONTRACTOR SHALL CHECK CAREFULLY ALL CONSTRUCTION DRAWINGS AND SPECIFICATIONS THAT ARE PART OF THIS PROJECT TO INSURE THAT NO FIXTURE, OUTLET, ALARM STATION OR CONTROL AND POWER WIRING IS OMITTED. THE CONTRACTOR SHALL CONSULT ALL TRADES FURNISHING EQUIPMENT AND OBTAIN FROM THEM ALL DATA. IN SOME STATIONS REQUIRED FOR THE PROPER FUNCTION OF BUILDING EQUIPMENT.
4.	EQUIPMENT LABELS AND INSTRUCTIONS REGARDING THE APPLICATION AND INSTALLATION OF THE LISTED EQUIPMENT SHALL BE FOLLOWED TO ENSURE THAT THE EQUIPMENT IS BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LISTING INSTRUCTIONS. THE TEMPERATURE RATING OF THE EQUIPMENT TERMINATIONS MUST BE CAREFULLY CORRELATED WITH THE CONDUCTOR AMPACITY TO PREVENT OVERHEATING AND PREMATURE FAILURE.
5.	COORDINATE WITH OTHER TRADES AND INSTALL CONDUIT AND BOXES TO CLEAR EMBEDDED DUCTS, OPENINGS AND OTHER STRUCTURAL FEATURES.
6.	ALL LIGHTING FIXTURES ARE TO BE LOCATED AS REQUIRED ON THE JOB TO CLEAR DUCTS, PIPING, EQUIPMENT, AND/OR MECHANICAL UNITS. ALL WIRING SHALL BE ENCLOSED IN CONDUIT OR SURFACE METAL RACEWAY.
7.	CONDUIT SHALL BE USED IN CONCEALED SPACES ONLY EXCEPT IN MECHANICAL AND ELECTRICAL SPACES. ALL OTHER SPACES SHALL USE SURFACE METAL RACEWAY. CONDUIT RUNS SHOWN ON THE DRAWINGS ARE DIAGRAMMATIC.
8.	FURNISH AND INSTALL EQUIPMENT DISCONNECT SWITCHES IN STRICT COMPLIANCE WITH CODE REQUIREMENTS.
9.	CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND MOUNTING HEIGHTS OF ALL DEVICES WITH THE ARCHITECTURAL PLANS, INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DETAILS, ELEVATIONS AND MILLWORK/CASEWORK DETAILS.
10.	REMOVE ALL CABLING, CONDUIT AND DEVICES IN THE BUILDING THAT ARE NOT BEING REUSED. MAKE SUFFICIENT ALLOWANCE IN PRICING. NO CHANGE ORDERS WILL BE APPROVED FOR REMOVAL OF THESE ITEMS.
11.	CIRCUIT NUMBERS SHOWN ARE FOR CLARITY ONLY AND DO NOT REPRESENT ACTUAL CIRCUIT BREAKER NUMBERS IN NEW PANELS. FIELD VERIFY ALL CONDITIONS. BRING ALL EXISTING PANEL DIRECTORIES UP TO DATE FOR ALL CIRCUITS, INCLUDING SPARES. PROVIDE NEW TYPEWRITTEN PANEL DIRECTORIES.
12.	THIS CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL APPLICABLE TRADES.
13.	PROVIDE COVER PLATES FOR ALL JUNCTION BOXES, USED AND UNUSED, NEW OR EXISTING, FOR THIS WORK.
14.	COORDINATE WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS AND ALL APPLICABLE TRADES AND EXISTING CONDITIONS PRIOR TO INSTALLING CONDUITS, LIGHT FIXTURES, VACANCY SENSORS, PANELS, CONDUIT, WIRING DEVICES.
15.	CONDUIT RUNS SHOWN ON DRAWINGS ARE DIAGRAMMATIC ONLY. ACTUAL FIELD CONDITIONS SHALL BE VERIFIED AND CONDUITS SHALL BE ROUTED ACCORDINGLY.
16.	PERFORM ALL CUTTING, CORING, AND PATCHING REQUIRED TO COMPLETE THE WORK. PERFORM ALL DEMOLITION AND REMOVAL OF DEBRIS RESULTING THEREFROM AND REQUIRED TO COMPLETE THE WORK. PATCH AND PAINT EXISTING FINISHED SURFACES AND BUILDING COMPONENTS USING NEW MATERIALS MATCHING EXISTING MATERIALS AND TEXTURE USING EXPERIENCED INSTALLERS. REFER TO SPECIFICATIONS.
17.	ALL MEASUREMENTS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THIS CONTRACTOR BEFORE PROCEEDING WITH ANY
18.	LIGHTING AND RECEPTACLES SHALL BE INSTALLED AND WIRED AS PER CITY CALIFORNIA ELECTRICAL CODE (CEC) AND OSHA REQUIREMENTS. PROVIDE GROUND FAULT INTERRUPTER REQUIRED ON ALL RECEPTACLES AND EQUIPMENT REQUIRED BY CODE. LAMPS, LIGHTING FIXTURE HANGING SUPPORTS, BASES, PADS, RODS, UNISTRUTS, ANGLE CLAMPS, AND OTHER ACCESSORIES FOR ALL FIXTURES AND EQUIPMENT SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR, INCLUDING FIXTURES AND EQUIPMENT AS REQUIRED BY CODE.
19.	THE LOCATION OF ALL EQUIPMENT IS SHOWN DIAGRAMMATICALLY. THE EXACT LOCATION SHALL BE DETERMINED BY ACTUAL FIELD CONDITIONS. IF CONFLICT OCCURS WITH THE PLACEMENT OF EQUIPMENT SHOWN ON DRAWINGS AND EXISTING STRUCTURES AND APPURTENANCES, CONTRACTOR SHALL COORDINATE WITH DESIGN ENGINEER BEFORE FINAL INSTALLATION. CONTRACTOR SHALL OBTAIN AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE AND BE FULLY
20.	THE CONTRACTOR SHALL FURNISH, INSTALL, AND CONNECT ALL EQUIPMENT IN ACCORDANCE WITH INTERNATIONAL BUILDING CODE (IBC). AFTER EACH WORKDAY, CONTRACTOR SHALL CLEAN ALL WORK AREAS AND ALL DEBRIS.
21.	ALL ELECTRICAL WORK SUPPLIED BY THE CONTRACTOR SHALL BE IN COMPLIANCE WITH THE CITY OF CALIFORNIA ELECTRICAL CODE (CEC) AND OTHER LOCAL AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR DRAWING SUBMITTALS TO THE ELECTRICAL INSPECTIONAL SERVICES IN COMPLIANCE WITH CEC.
22.	FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND APPURTENANCES FOR A COMPLETE ELECTRICAL SYSTEM. WHERE THERE IS NO MENTION OF THE RESPONSIBLE PARTY FOR A SPECIFIC ITEM TO BE FURNISHED, INSTALLED, OR WIRED ON THE ELECTRICAL DRAWINGS, THIS CONTRACTOR SHALL BE RESPONSIBLE COMPLETELY FOR A COMPLETE AND OPERATING SYSTEM FOR THIS ITEM.
23.	ANY MENTION OF A SPECIFIC VOLTAGE ON THE ELECTRICAL DRAWINGS SHALL NOT RELIEVE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO VERIFY THE VOLTAGE PRIOR TO PURCHASING OR ROUGH-IN WORK. THE CONTRACTOR SHALL SUBMIT A VOLTAGE COORDINATION FORM TO ALL PARTIES FURNISHING EQUIPMENT FOR VERIFICATION.
24.	IDENTIFY ALL RECEPTACLES AND SWITCHES AS FOLLOWS:
A.	RECEPTACLES: IDENTIFY PANEL BOARD AND CIRCUIT NUMBER FROM WHICH SERVED. (I.E.: LP-2-7) USE HOT, STAMPED OR ENGRAVED MACHINE PRINTING WITH BLACK-FILLED LETTERING ON FACE OF PLATE, AND DURABLE WIRE MARKERS OR TAGS INSIDE DU LET BOXES.
B.	SWITCHES: WHERE THREE OR MORE SWITCHES ARE GANGED, AND ELSEWHERE WHERE INDICATED, IDENTIFY EACH SWITCH WITH APPROVED LEGEND ENGRAVED WITH BLACK-FILLED LETTERING ON FACE OF WALL PLATE.
25.	PENETRATIONS OF FIRE RATED WALL AND FLOOR ASSEMBLIES SHALL BE PROTECTED WITH AN APPROVED THROUGH-PENETRATION SYSTEM AND SHALL BE A TESTED ASSEMBLY IN ACCORDANCE WITH ASTM E119. ALL CONDUIT PENETRATIONS THROUGH FLOORS AND WALLS SHALL BE FIRE SEALED PER INTERNATIONAL BUILDING CODE (IBC). SEALANT RATING SHALL MEET OR EXCEED THE FIRE RATING OF FLOOR AND WALL CONSTRUCTION. REFER TO SECTION 07
26.	THE OWNER RESERVES THE RIGHT TO RELOCATE ANY ELECTRICAL EQUIPMENT OR CONNECTION WITHIN FIVE FEET FROM THAT SHOWN ON THE DRAWINGS AT NO EXTRA COST TO THE OWNER.
27.	THIS CONTRACTOR SHALL CHECK CAREFULLY AL CONSTRUCTION DRAWINGS AND SPECIFICATIONS THAT ARE PART OF THIS PROJECT TO ENSURE THAT NO FIXTURE, OUTLET, ALARM STATION OR CONTROL AND POWER WIRING IS OMITTED. THE CONTRACTOR SHALL CONSULT ALL TRADES FURNISHING EQUIPMENT AND OBTAIN FROM THEM ALL DATA IN SOME CASES EQUIPMENT, FIXTURES AND DEVICES ARE SHOWN ONLY ASCERTAIN AND PROVIDE THE WIRING AND CONTROL STATIONS REQUIRED FOR THE PROPER FUNCTION OF BUILDING EQUIPMENT.
28.	ALL CONDUIT CONNECTIONS TO MOTORS SHALL BE SEAL TIGHT FLEXIBLE CONDUIT, SAME CONDUIT SIZE AS CIRCUIT CONDUIT FROM MOTOR STARTER OR VARIABLE FREQUENCY DRIVE TO MOTOR.
29.	ALL NEW COMBINATION MOTOR STARTERS AND/OR DISCONNECT MEANS SHALL BE READILY ACCESSIBLE AS DEFINED IN THE INTERNATION BUILDING CODE (IBC).
30.	ALL BRANCH CIRCUIT FEEDERS SHALL BE PROVIDED WITH SEPARATE GROUNDING CONDUCTORS SIZED PER ARTICLE 250 OF CALIFORNIA ELECTRICAL CODE (CEC).
31.	ALL RECEPTACLES WITHIN 6' FROM SINKS AND WHERE SPECIFICALLY INDICATED ON DRAWINGS, SHALL BE GFCI INDIVIDUALLY PROTECTED.
32.	PROVIDE PULL STRING IN ALL EMPTY CONDUITS.
33.	ALL EXISTING PAINTED SURFACES DAMAGED OR PATCHED AS PART OF THIS CONTRACT SHALL BE PAINTED TO MATCH EXISTING ADJACENT COLOR, TEXTURE, AND FINISH. EXISTING PAINT COLOR, TEXTURE, AND FINISH SHALL BE VERIFIED BY CONTRACTOR IN THE FIELD PRIOR TO CONSTRUCTION.
34.	ALL OUTLET BOXES ON OPPOSITE SIDES OF WALLS SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES WITH WALL STUD BETWEEN BOXES. ALL BOXES SHALL BE SEALED AIRTIGHT WITH FIRE STOPPING PUTTY PADS
35.	PROVIDE DEDICATED NEUTRAL IN ALL 120V, 1PH CIRCUITS AS PER SECTION 26 27 27.
36.	ANCH CIRCUIT CABLE SIZE SHALL BE ADJUSTED BASED ON THE CONDUCTOR LENGTH. FOR 120/240V CABLING FROM PANEL TO ELECTRICAL LOAD SHALL BE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
A.	FOR 120V 20A CIRCUIT: IF LESS THAN 75 FEET, USE #12 AWG MINIMUM FROM 75 TO 200 FEET, USE #10 AWG MINIMUM
B.	FOR 240V 45A CIRCUIT: IF LESS THAN 75 FEET, USE #8 AWG MINIMUM FROM 75 TO 200 FEET, USE #6 AWG MINIMUM
37.	E.C. SHALL COORDINATE WITH G.C. FOR ACTUAL ELECTRICAL REQUIREMENTS PRIOR TO PROCUREMENT.
38.	ALL CURRENT CARRYING CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION INDOORS. OUTDOOR AND UNDERGROUND FEEDERS SHALL USE TYPE XHHW INSULATION. ALL GROUND CONDUCTORS SHALL BE INSULATED COPPER.
39.	THE UNDERGROUND AND GROUND CONDUCTORS OF EACH MULTIWIRED BRANCH CIRCUIT SHALL BE GROUPED BY WIRE TIES OR SIMIAR MEANS IN AT LEAST ONE LOCATION WITHIN THE PANELBOARD OR OTHER POINT OF ORIGINATION.
40.	EACH MULTIWIRED BRANCH CIRCUIT SHALL BE PROVIDED WITH A MEANS THAT WILL SIMULTANEOUSLY DISCONNECT ALL UNGROUND CONDUCTORS AT THE POINT WHERE THE BRANCH CIRCUIT ORIGINATES.WHERE THE BUILDING PROPERTY IS LOCATED IN A FLOOD ZONE AREA, ALL EQUIPMENT SHALL BE INSTALLED ONE FOOT ABOVE THE FLOOD BASE ELEVATION.
41.	E.C SHALL VERIFY HIGH LEG FROM THE UTILITY AND REVISE PANEL SCHEDULES IF REQUIRE TO MATCH HIGH LEG PHASE FROM THE UTILITY INCLUDING HIGH LEG MARKING PER CEC 110.15



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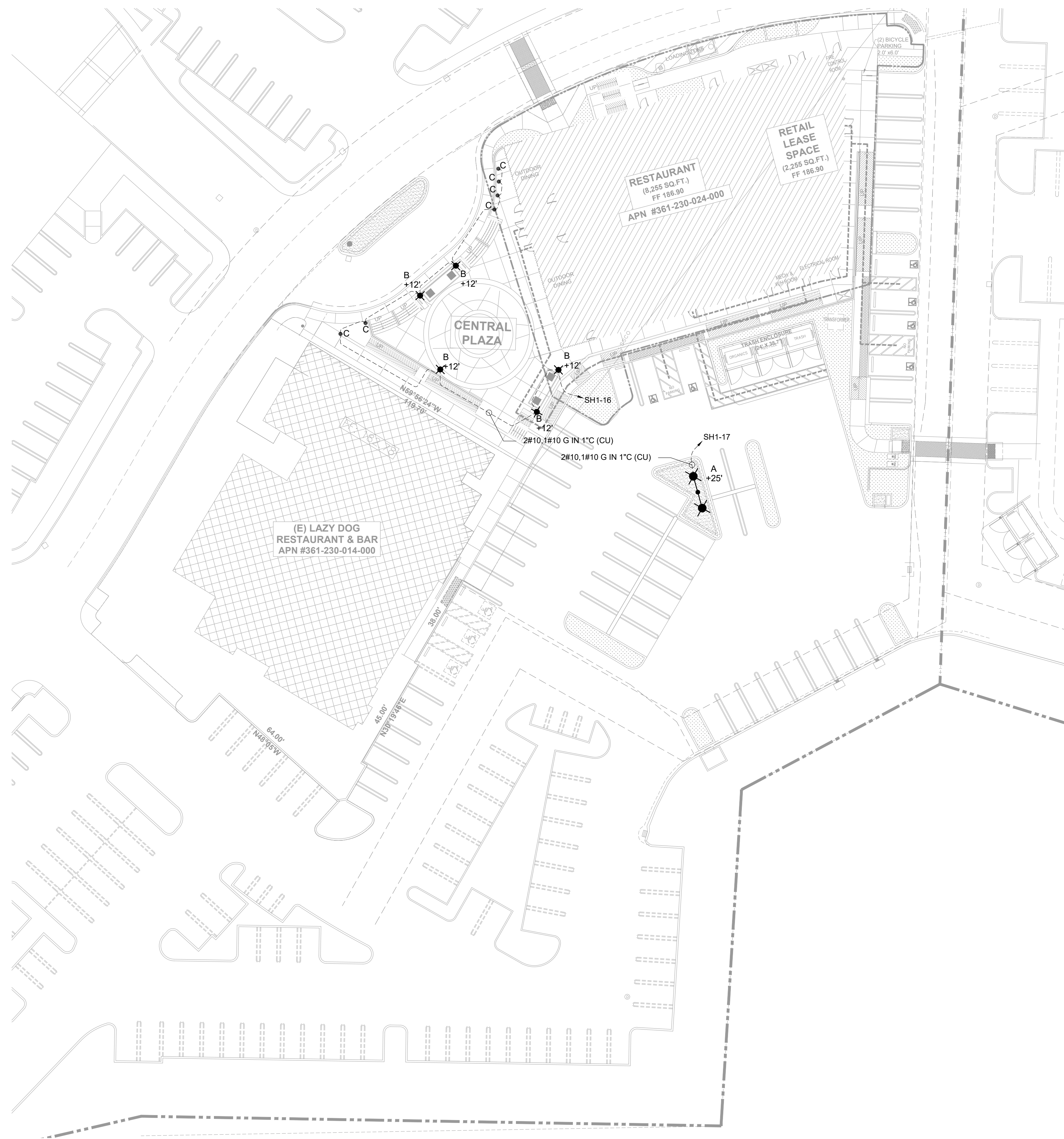
**BP RESTAURANT & SPORTS BAR**  
246 GIBSON DRIVE, SUITE 100  
ROSEVILLE, CA 95678

NO.	DATE	DESCRIPTION

**PROJECT NO:**  
**DATE:**  
**SHEET TITLE:**

**GENERAL NOTES AND SYMBOLS**

**SHEET NO:**  
**E0.0**



1 LIGHTING SITE PLAN  
 E1.0 SCALE: 1/2" = 1'-0" NORTH

**LIGHTING GENERAL NOTES**

1. REFER SHEET E0.0 FOR GENERAL NOTES AND SYMBOLS AND SHEET E5.0 FOR PANEL SCHEDULES AND SHEET E5.0 LIGHT FIXTURE SCHEDULE.
2. E.C. SHALL COORDINATE WITH G.C. FOR ALL UNDERGROUND UTILITIES AND STRUCTURES LIKE GAS, WATER AND SEWER PRIOR TO START WORK.
3. ALL CONDUITS SHALL BE INSTALLED AT THE LOCATION SHOWN ON THE CIVIL UTILITY CONDUIT AND LIGHTING LOCATIONS SHOWN ON THIS PLAN ARE FOR INFORMATION ONLY AND SHALL NOT BE USED TO DETERMINE SPECIFIC LOCATIONS OF SITE LIGHTING COMPONENTS. TYPICAL ALL CONDUITS.
4. PROVIDE DEDICATED NEUTRAL TO EACH CIRCUIT.
5. ALL OUTDOOR LIGHTS SHALL BE OPERATED THROUGH ASTRONOMICAL TIMER.



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**BP RESTAURANT & SPORTS BAR**  
 246 GIBSON DRIVE, SUITE 100  
 ROSEVILLE, CA 95678

NO.	DATE	DESCRIPTION

PROJECT NO:  
 DATE:  
 SHEET TITLE:

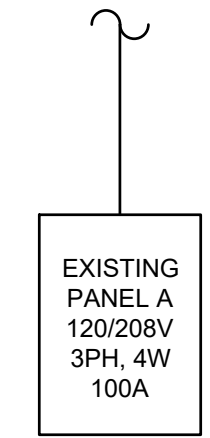
LIGHTING SITE PLAN

SHEET NO:  
**E1.0**

BP RESTAURANT & SPORTS BAR													
PANEL SH1													
Load	type	Load				Amps			Amps			Load	
		A	B	C	Amps	No.	No.	Amps	A	B	C		
LIGHTING - SITE	L	1600			20	1	2	20	1200			L	MONUMENT SIGN
	L		1600		20	3	4	20		1200		L	MONUMENT SIGN
LIGHTING - SITE	L			1400	20	5	6	20			100	L	LIGHTING CONTROL PANEL
	L	1400			20	7	8	20	200			M	IRRIGATION CONTROLLER
LIGHTING - PLAZA	L		490		20	9	10	20		1000		M	FOUNTAIN PUMP
	L			490	20	11	12	20			1000	M	FOUNTAIN PUMP
LIGHTING - PLAZA	L	490			20	13	14	20	480			L	LIGHTING - TREE & FOUNTAIN
	L		490		20	15	16	20		247		L	LIGHTING - PLAZA
LIGHTING - SITE	L			216	20	17	18	20					SPARE
SPARE					20	19	20	20					SPARE
SPACE					20	21	22	20					SPACE
SPACE					20	23	24	20					SPACE
SPACE					20	25	26	20					SPACE
SPACE					20	27	28	20					SPACE
SPACE					20	29	30	20					SPACE
<b>Subtotal</b>		<b>5370</b>	<b>5027</b>	<b>3206</b>									
<b>Total Panel Load:</b>	13.6	KVA			37.8	Amps	47.2		<b>Demand Amps</b>				
<b>Volts:</b>	120/208V		3PH	4W	<b>SCCR</b>	EXISTING							
<b>Mains:</b>	100	A MLO											
<b>Mounting:</b>	SEE PLANS												

- Notes:**
- CONTRACTOR SHALL PROVIDE ADEQUATE WITHSTAND RATING OF EQUIPMENT PER AVAILABLE FAULT CURRENT FROM THE EXISTING UTILITY OR DISTRIBUTION. COORDINATE WITH UTILITY.
  - THE CONTRACTOR SHALL ADJUST CIRCUIT AS REQUIRED BASE ON FINAL EQUIPMENT TO MAINTAIN 10% LOADING BETWEEN PHASES
  - VERIFY ELECTRICAL REQUIREMENTS AND EQUIPMENT LOCATION PRIOR TO ROUGH-IN
  - L-LIGHT, K-KITCHEN, H-HVAC, R-RECEPTACLE, EQ-EQUIPMENT, HW-HOTWATER HEAT, M-MISCELLANEOUS
  - ALL NEW CIRCUITED FEEDRES SHOWN BOLD IN PANEL SCHEDULE.

EXISTING SUPPLY FROM MSB



1 ONE LINE DIAGRAM  
E5.0 SCALE: N.T.S.

LIGHTING FIXTURE SCHEDULE							
TAG	SYMBOL	DESCRIPTION	TYPE	VOLTAGE	PHASE	WATT	CATALOG NUMBER
A		DOUBLE HEAD LIGHT POLE	LED	120	1	216	ACUITY: DSX1 LED P8 50K 80CRI T5W
B		BOLLARD LIGHT	LED	120	1	38	REBELLE: ORCHESTRA CIRCLE 2756A2 LED POLE TYPE: POLES 3027
C		BOLLARD LIGHT	LED	120	1	19	KIM LIGHTING: VRB3

NOTES:

- COORDINATE WITH ARCHITECT FOR EXACT INFORMATION, INCLUDING MANUFACTURER, MODEL NUMBER, COLORS, FINISHES, TRIMS, LAMP COLOR TEMPERATURE, AND CEILING TYPES.
- REFER TO ARCHITECTURAL SHEETS FOR WALL, COLUMN, AND PENDANT MOUNTING HEIGHTS UNLESS NOTED OTHERWISE.
- E.C. SHALL COORDINATE VOLTAGES REQUIRED FOR FIXTURES PRIOR TO ORDERING.
- ALL FIXTURES SHALL BE UL OR ETL LISTED
- ALL FIXTURES SHALL BEAR A MAXIMUM WATTAGE LABEL AS INDICATED ABOVE. THE DISTRIBUTOR SHALL AFFIX THE MAX WATTAGE LABEL PRIOR TO SHIPMENT WHERE A REDUCTION IN MAXIMUM WATTAGE IS REQUIRED FOR ENERGY CODE COMPLIANCE



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ROSEVILLE, CA 95678

NO.	DATE	DESCRIPTION

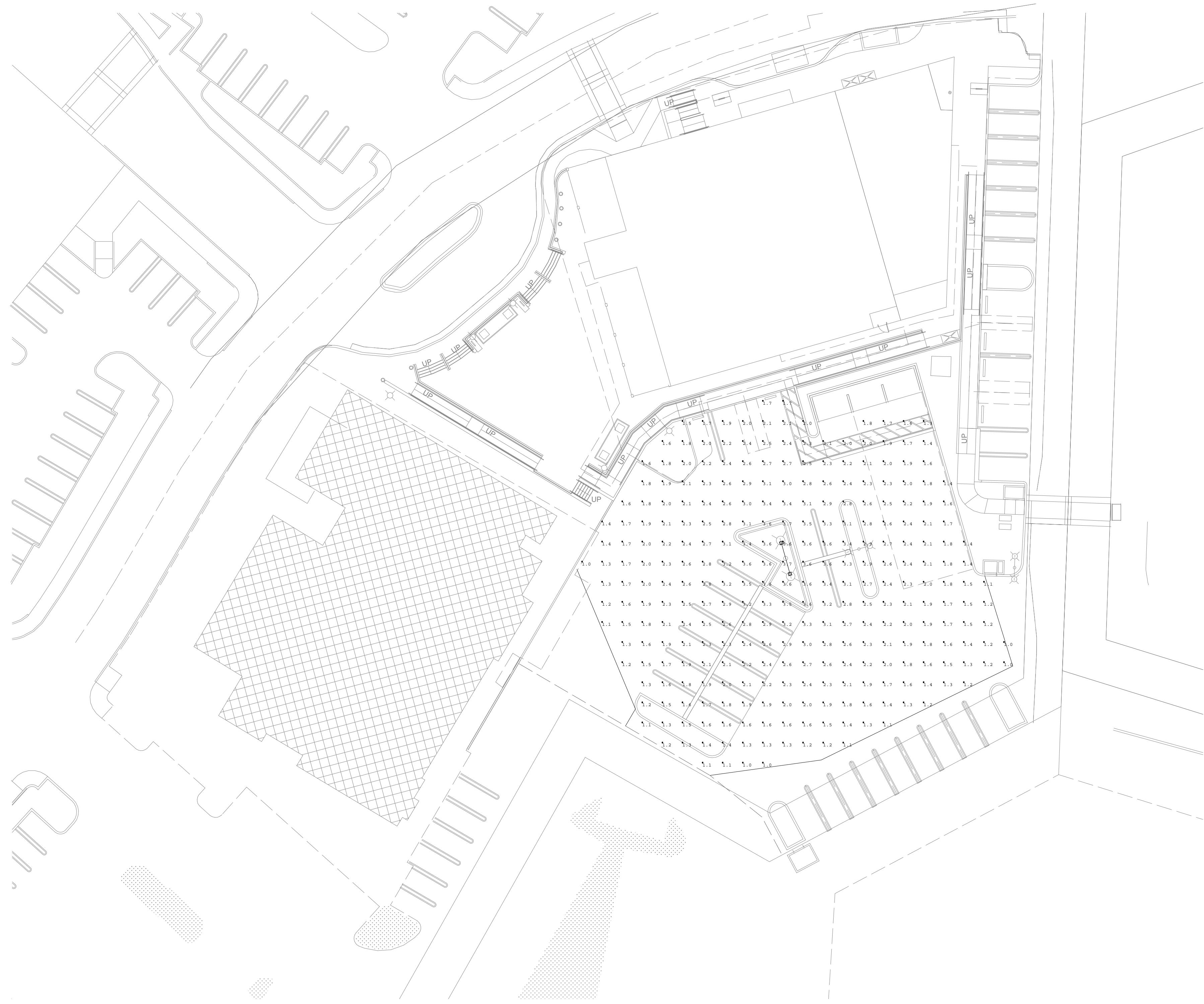
PROJECT NO:  
DATE:  
SHEET TITLE:  
**ELECTRICAL ONE LINE DRAGRAM AND SCHEDULE**

SHEET NO: **E5.0**

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SPORTS BAR**  
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ROSEVILLE, CA 95678



**1** **ELECTRICAL PHOTOMETRIC PLAN**  
E8.0 SCALE: 1/2" = 1'-0"

Luminaire Schedule			
Symbol	Qty	Label	Description
□	1	DSX1_LED_P8_50K_80CRI_T5W	DSX1 LED P8 50K 80CRI T5W

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE AREA	Illuminance	Fc	2.15	3.7	1.0	2.15	3.70

NO.	DATE	DESCRIPTION

PROJECT NO:  
DATE:  
SHEET TITLE:

**ELECTRICAL  
PHOTOMETRIC PLAN**

SHEET NO:  
**E8.0**